

DEPARTMENT OF FINANCE

CITY OF STAUNTON  
REQUEST FOR PROPOSALS  
(RFP # E00323)

ARCHITECTURAL, ENGINEERING AND RELATED SERVICES  
FOR DESIGN AND CONSTRUCTION ADMINISTRATION OF  
CITY OF STAUNTON JUVENILE & DOMESTIC RELATIONS DISTRICT COURT  
FACILITY

May 31, 2023

**GENERAL INFORMATION**

The City of Staunton is seeking proposals from qualified and properly licensed architectural and engineering firms for the full range of architectural and engineering and related services, including but not limited to, all phases of design and construction itemized below in Sections III. Description of Work and IV. Scope of Services for a new City of Staunton Juvenile & Domestic Relations District Court Facility.

All proposals must be in an opaque, sealed envelope or box and clearly marked: “**RFP A&E SERVICES – COS J&DR COURT DESIGN.**” Proposals shall clearly indicate the legal name, address and telephone number of the Offeror (company, firm, partnership, or individual). All expenses for making proposal to the City of Staunton shall be borne by the Offeror.

An authorized representative of the offeror shall sign proposals. Offerors shall provide one (1) paper copy and one (1) identical electronic PDF copy (on CD or thumb drive) of the proposal documents. If proprietary/confidential information is included in the proposal, it shall be identified **CONSPICUOUSLY** using **Attachment A**, and Offeror is required to submit a redacted copy of the proposal in addition to the required number of proposal copies. Redacted copy shall be provided in electronic PDF format on CD or thumb drive. All electronic copies shall be exact image of PDF scanned copies of the original, signed, completed documentation.

Proposal documents shall be mailed to addressee below or hand-delivered to the **City of Staunton Finance Office located at 116 W. Beverley Street, 3rd Floor City Hall, Staunton, Virginia**. Office hours are Monday through Friday, 8:00am to 5:00pm. Faxed or emailed proposals will **NOT** be accepted.

All proposals must be timely delivered to:

**Mail to:**  
City of Staunton  
Chad Horvat  
Finance Business Manager  
P.O. Box 58  
Staunton, VA 24402-0058  
Phone: (540) 332-3819

**Overnight To**  
City of Staunton  
Chad Horvat  
Finance Business Manager  
116 W. Beverley St., 3<sup>rd</sup> Floor  
Staunton, VA 24401  
Phone: (540) 332-3819

**ALL PROPOSALS MUST BE SUBMITTED PRIOR TO**  
**2:00 PM, LOCAL TIME, JUNE 20, 2023**

The City of Staunton (hereinafter referred to as “COS” or “City”) is not responsible for delays in the delivery of the mail by the U.S. Postal Service, private couriers, or the inter-office mail system. It is the sole responsibility of the Offeror to ensure that its proposal reaches the Purchasing and Risk Manager by the designated date and hour. All Offerors shall abide by all applicable State and Federal laws. This public body does not discriminate against faith-based organizations, in accordance with the Code of Virginia, § 2.2-4343.1 or against a Bidder or Offeror because of race, religion, color, sex, national origin, age, disability, or any other basis prohibited by law relating to discrimination in employment.

**Inquiries Concerning the RFP**

Any questions or comments concerning this Request for Proposal (RFP) should be directed in writing and submitted by 2:00pm on June 8, 2023 to:

**Lyle Hartt, P.E.**  
**City Engineer**  
**HarttLM@ci.staunton.va.us**

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**RFP SPECIFICATIONS FOR A&E SERVICES –**  
**COS JUVENILE & DOMESTIC RELATIONS DISTRICT COURT FACILITY**

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**I. INTRODUCTION**

The City of Staunton (“COS”) is seeking proposals from qualified and properly licensed architectural and engineering firms for the full range of architectural and engineering services including, but not limited to, all phases of design and construction (master plan, schematic design phase, design development phase, construction documents phase, bidding, negotiation and design compliance phase, and construction contract administration phase), and additional services as needed for the design related to the construction of a Juvenile & Domestic Relations District Court facility (“Project”).

COS also reserves the right to complete, at any time during this Project, any portion(s), phases(s), or aspect(s) of the Project itself or by using more than one architectural and/or engineering firm during any portion(s), phases(s), or aspect(s) of the Project. COS may exercise its rights hereunder without having to reissue a RFP.

**II. COMPETITIVE NEGOTIATION**

The procurement method is competitive negotiation of professional services, in accordance with the Code of Virginia § 2.2-4302.2. This RFP indicates, in general terms, the nature of the program and services being sought for the Project. Each Offeror is to submit the proposal(s) that an Offeror believes would best suit the needs of COS for this Project.

The specific requirements for the contents of the proposals are contained in this RFP. Offerors are encouraged to provide additional information not specifically identified as a requirement if that additional information enables the proposal to better suit the needs of COS for this Project.

### **III. DESCRIPTION OF WORK**

Project will consist of architectural and engineering services for a new COS Juvenile & Domestic Relations (J&DR) District Court facility. Services will include schematic design, design development, construction documents, bid process assistance, design compliance, construction contract administration, and additional services as needed for all phases of work related to the project.

#### **Project Background:**

COS J&DR District Court currently operates in consolidation with the J&DR District Court of Augusta County. These court facilities are currently located at 6 East Johnson Street in Staunton, Virginia. The property is owned and maintained by Augusta County. A show-cause order was issued by the Commonwealth of Virginia in 2021 declaring the existing facilities to be inadequate and necessitating improvements be made. Augusta County announced plans in November 2022 to relocate its Circuit and District Courts to a new facility, which is to be constructed in the County. Currently, the anticipated move-in date of the County courts into their new facility is the Fall 2025, according to Augusta County's project information website and press releases. This move-in date represents the effective end of the consolidation of the County and COS J&DR courts, and necessitates the concurrent or prior relocation of COS facilities to a site owned by COS.

In 2022, COS issued a task order for Thompson & Litton to conduct a Space Needs Assessment for the COS J&DR District Court. A copy of the Study, last revised in May 2022, is included as **Attachment C**. Upon direction from the Commonwealth, COS proceeded to assign Thompson & Litton to provide a conceptual design of a proposed J&DR District Court facility, including a schematic site plan and a schematic floor plan. A copy of this conceptual design is included as **Attachment D**. It should be noted that the conceptual design was not based on a specific site, as a definitive site had not been identified at that time.

COS desires to construct a new J&DR District Court facility in the City of Staunton. The new facility is proposed to be located at the existing Chestnut Hills Shopping Center at 2040 West Beverley Street, which is currently under contract by COS. COS currently intends for the court facility to be located at the southern portion of the parcel, which will necessitate the demolition of the existing 41,000 sf building at that location. The other existing building, which is approximately 48,000 sf and located on the western central portion of the parcel, is anticipated to remain and be repurposed for uses other than a court facility. An Asbestos and Lead Paint Survey Report of the existing site was conducted in 2022 by TRC and is included as **Attachment E**. A Phase I Environmental Site Assessment (ESA) will be completed by others, on behalf of COS, as part of the real estate acquisition process. The ESA is anticipated to be completed by early July 2023, and will be made available to the successful Offeror.

Due to the distinct requirements of a modern judicial facility, the scrutiny and oversight of the Commonwealth as a result of the show-cause order, the inherent constraints of the proposed site, and the critical timeframe established by the County's plans to relocate, the successful offeror shall have demonstrable previous experience in the design of comparable judicial facilities in the Commonwealth of Virginia.

Additionally, the successful offeror shall be familiar with all aspects of the most recent edition (2015) of the Virginia Courthouse Facility Guidelines. The Commonwealth has made clear to COS that a new J&DR District Court facility will need to adhere to these guidelines.

This Project is being funded in-part with Federal ARPA funds. ARPA funds are made available to COS under certain conditions, which the offerors must take into consideration with respect to their proposed services. These conditions include, among others, deadlines for the obligation and liquidation of funds and federal procurement regulations.

#### IV. SCOPE OF SERVICES

- A. The successful offeror shall provide complete architectural and engineering services and all related services for the design and construction of a new City of Staunton Juvenile & Domestic Relations District Court facility.
- B. Deliverables shall include a 35% plan submittal with site master plan, 100% plan and specifications submittal, and construction documents (final submittal), as well as updated cost estimates with each submittal. Specifications for FF&E (fixtures, furnishings, and equipment) shall also be provided with the design deliverables. As time is of the essence, the City will conduct its review of each submittal in an expeditious manner. Bid process assistance, design compliance, construction contract administration, including shop drawing review, inspection, and payment processing, will also be provided by the successful offeror.
- C. The successful offeror shall provide a suitable and acceptable design, appropriate to the location indicated above and within the constraints inherent to that site, including zoning, historical overlay, and flood zone criteria. The design shall adhere to the most recent edition (2015) of the Virginia Courthouse Facility Guidelines, and at a minimum, the findings of the 2022 Space Needs Study provided by Thompson & Litton.
- D. The successful offeror shall meet, as appropriate, with COS staff and provide ample public opportunities for stakeholder input and review in planning the design and Project scope as needed during the design phase. The parameters and scope of the site master plan and other design elements will be further established at a project kickoff meeting with COS.
- E. The successful offeror shall provide construction estimates for the Project during the course of design.
- F. The successful offeror shall provide construction bid documents in accordance with the dates as set forth in Section VII of this RFP.

#### V. GENERAL REQUIREMENTS

To be considered for selection, offerors must submit a complete response to this RFP. Failure to submit all information requested may result in the rejection of the incomplete proposal.

Offerors shall provide one (1) paper copy and one (1) identical electronic PDF copy (on CD or thumb drive) of the proposal documents. If proprietary/confidential information is included in the proposal, it shall be identified using **Attachment A**, and Offeror is required to submit a redacted copy of their proposal in addition to the required number of proposals requested. Redacted copy should be provided in electronic PDF format on CD or thumb drive. All electronic copies shall be exact PDF scanned copies of the original, signed, completed documentation.

Proposals must be received prior to 2:00 PM, local time, on April 20, 2023, by the City of Staunton Purchasing Department (hereinafter referred to as “the City” or “COS” or “Staunton”). All submitted proposals shall be signed by an authorized representative of the offeror. Proposals may be mailed or hand delivered to the City of Staunton, Purchasing Department, 3<sup>rd</sup> Floor, 116 W Beverley St, Staunton, VA 24401. **Faxed or e-mailed proposals are not acceptable.** It is the offeror’s responsibility to ensure that the proposal is received by the Purchasing Department prior to 2:00 PM, local time, on April 20, 2023. Proposals received after on April 20, 2023, will not be accepted or considered. All proposals will be time and date stamped upon arrival.

All proposal envelopes must have the company name on the outside of the envelope and be clearly marked as “**RFP A&E SERVICES – COS J&DR COURT DESIGN**”. If proposals are to be delivered by a third party (i.e. FedEx, UPS), it is the responsibility of the offeror to be sure the outer most envelope is clearly marked the same. COS will not be responsible for proposals that are opened prematurely or late due to improper identification.

Offerors must address and provide each item in Scope of Services. Offerors shall respond to each item individually with "agreed", "will comply" or provide a satisfactory explanation of any variance from the request. Such variance(s), in themselves, will not eliminate the proposal from consideration, but will be evaluated along with consideration of other selection criteria. Failure to answer any requirement within this Scope of Services may subject the entire proposal to rejection.

As this Project is a recipient of Federal funding, all proposals shall be subject to both the **Procurement Guidelines** and the **Contract Provisions for Non-Federal Entity Contracts Under Federal Awards** included in this Request for Proposal. It is the offeror’s responsibility to be registered on the Federal Government’s SAM.gov website (<https://sam.gov/content/home>) prior to submitting a proposal.

Prior to submitting a proposal, it is the offeror’s responsibility to check the City’s website (<https://www.ci.staunton.va.us/departments/finance/procurement>) for any addenda associated with this RFP.

Any costs or expenses of any kind incurred by an offeror in preparing or submitting proposals are the offeror’s sole responsibility; COS will not reimburse any offeror for any costs or expenses incurred as a result of the preparation of this RFP.

Proposals shall be as thorough and detailed as possible so that the COS may properly evaluate the capabilities of respective firms to provide the required services. Offerors are required to submit the following items for a complete proposal:

- A. A statement of the offeror’s understanding of the work to be performed.
- B. Information as to the offeror's background and experience relative to these services being required.
- C. A listing of three (3) previous clients who may be contacted as references, for whom similar services of similar scope have been provided within the last five (5) years.
- D. Information as to the size and organizational structure of the offeror’s firm.
- E. A list of proposed Project team members to include résumés identifying the type of professional personnel that will be employed to perform the contract. Resumes should describe the experience, education, background, licensure status, specific or technical accomplishments and any special qualifications applicable to contract performance.
- F. Number, type and value of current projects and effect of these on offeror’s ability to provide services as required during the contract.
- G. Geographic location of the firm (or office carrying out the work) relative to the Project.
- H. Evidence of past performance relative to ability to complete projects on schedule and within estimated costs.
- I. Listing of any other special experience and qualifications relative to this Project desired by the offeror.
- J. Proposed schedule for completion of all tasks.

## **VI. AWARD OF CONTRACT**

### **A. RESERVATION**

All aspects of each proposal submitted will be considered. This RFP does not commit COS to award a contract or to pay costs or expenses incurred in the preparation of responses to this RFP. COS reserves the right, at any time prior to award of the contract, to reject any and all proposals, or any part thereof, to make no award, and/or to issue a new RFP, or make modifications, corrections, or additions to the information contained herein. Offerors are cautioned this is an RFP, not a request for contract.

#### B. EVALUATION CRITERIA

An evaluation committee will review all proposals. Following the completion of initial evaluation, the committee may interview a limited number of firms and negotiate a contract with the firm(s) believed most capable of providing the required services.

COS reserves the right to award a single, or multiple contracts for specific services and to negotiate additional services of a similar nature with the successful offeror(s).

The following criteria will be used to evaluate the proposals:

<b>Evaluation Criteria</b>	<b>Maximum Points</b>
Specific plans or methodology to be used to perform required services for all Project Phases.	15
The ability, capacity and skill of the offeror to provide the services required within the time specified and within the anticipated Project cost	20
Experience and qualifications of personnel assigned to perform the services	20
Experience in successfully performing similar services for other municipalities within the Commonwealth of Virginia, including demonstrated ability in courthouse design	30
Overall quality, clarity, and completeness of the proposal	15
<b>TOTAL</b>	<b>100</b>

#### VII. IMPORTANT DATES

There are several dates that are important in the current RFP process. Be advised that all dates are a projection and not guaranteed:

##### ESTIMATED PROJECTED TIMELINE FOR PROJECT:

RFP Posted	May 31, 2023
Questions Due	June 8, 2023 @ 2:00 P.M.
Q&A Responses & Addenda Posted	June 9, 2023
RFP Due	June 20, 2023 @ 2:00 P.M.
A & E Services Begin	June 2023
A & E Design Complete	January 2024
Construction Bids Due	February 2024
Construction Start Date	April 2024
Construction Complete	October 2025

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## Contract Provisions for Non-Federal Entity Contracts Under Federal Awards

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In addition to other provisions required by the Federal agency or non-Federal entity, all contracts made by the non-Federal entity under the Federal award must contain provisions covering the following, as applicable.

1. Contracts for more than the simplified acquisition threshold currently set at \$250,000, which is the inflation adjusted amount determined by the Civilian Agency Acquisition Council and the Defense Acquisition Regulations Council (Councils) as authorized by *41 U.S.C. 1908*, must address administrative, contractual, or legal remedies in instances where contractors violate or breach contract terms, and provide for such sanctions and penalties as appropriate.
2. All contracts in excess of \$10,000 must address termination for cause and for convenience by the non-federal entity including the manner by which it will be affected and the basis for settlement.
  - a. **Termination for Convenience.** Contract is terminated due to reasons known to COS, i.e., program changes, changes in state-of-the art equipment or technology, insufficient funding, etc. Termination is utilized when the contractor is not in violation of the contract terms and conditions.
  - b. **Termination for Cause.** Contract is terminated due to actions by the contractor, i.e., failure to perform, financial difficulty, slipped schedules, etc. In certain instances, termination settlement may include re-procurement costs to be paid by the contractor.
3. Equal Employment Opportunity. Except as otherwise provided under *41 CFR Part 60*, all contracts that meet the definition of “federally assisted construction contract” in *41 CFR Part 60-1.3* must include the equal opportunity clause provided under *41 CFR 60-1.4(b)*, in accordance with Executive Order 11246, “Equal Employment Opportunity” (*30 FR 12319, 12935, 3 CFR Part, 1964-1965 Comp., p. 339*), as amended by Executive Order 11375, “Amending Executive Order 11246 Relating to Equal Employment Opportunity,” and implementing regulations at *41 CFR part 60*, “Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.”
4. Davis-Bacon Act, as amended (*40 U.S.C. 3141-3148*). When required by Federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non-Federal entities must include a provision for compliance with the Davis-Bacon Act (*40 U.S.C. 3141-3144, and 3146-3148*) as supplemented by Department of Labor regulations (*29 CFR Part 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”*). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non-Federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency. The contracts must also include a provision for compliance with the Copeland “Anti-Kickback” Act (*40*

*U.S.C. 3145*), as supplemented by Department of Labor regulations (*29 CFR Part 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”*). The Act provides that each contractor or subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency.

5. Contract Work Hours and Safety Standards Act (*40 U.S.C. 3701-3708*). Where applicable, all contracts awarded by the non-Federal entity in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with *40 U.S.C. 3702* and *3704*, as supplemented by Department of Labor regulations (*29 CFR Part 5*). Under *40 U.S.C. 3702* of the Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of *40 U.S.C. 3704* are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.
6. Rights to Inventions Made Under a Contract or Agreement. If the Federal award meets the definition of “funding agreement” under *37 CFR § 401.2 (a)* and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that “funding agreement,” the recipient or subrecipient must comply with the requirements of *37 CFR Part 401, “Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements,”* and any implementing regulations issued by the awarding agency.
7. Clean Air Act (*42 U.S.C. 7401-7675*) and the Federal Water Pollution Control Act (*33 U.S.C. 1251-1388*), as amended - Contracts and subgrants of amounts in excess of \$150,000 must contain a provision that requires the non-Federal award to agree to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (*42 U.S.C. 7401-7675*) and the Federal Water Pollution Control Act as amended (*33 U.S.C. 1251-1388*). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA).
8. Debarment and Suspension (Executive Orders 12549 and 12689) - A contract award (*see 2 CFR 180.220*) must not be made to parties listed on the governmentwide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at *2 CFR 180* that implement Executive Orders 12549 (*3 CFR part 1986 Comp., p. 189*) and 12689 (*3 CFR part 1989 Comp., p. 235*), “Debarment and Suspension.” SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549.
9. Byrd Anti-Lobbying Amendment (*31 U.S.C. 1352*) - Contractors that apply or bid for an

award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.

10. §200-323 Procurement of recovered materials. A non-Federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.
11. To the extent that a procurement award or transaction for goods or services under this purchase order or other contract is funded with federal funds under American Rescue Plan Act (ARPA), the successful bidder or proposer or awardee must comply with the federal domestic preference for procurements requirements of the federal regulations prescribed in Section 200.322 of Title 2 of the Code of Federal Regulations (CFR). The successful bidder or proposer or awardee certifies that any contracts, as well as any subcontracts, shall include this requirement, which mandates that to the greatest extent practicable there shall be a preference for the purchase, acquisition, or use of goods, products, or materials produced in the United States (including but not limited to iron, aluminum, steel, cement, and other manufactured products). Definition of the terms “produced in the United States” and “manufactured products” may be found in the CFRS at: Electronic Code of Federal Regulations (eCFR) or successor url. And to the extent not in compliance with such requirements, the successful bidder or proposer or awardee shall indemnify, defend and hold harmless the City of Staunton, to the fullest extent permitted by law
12. § 200.216 Prohibition on certain telecommunications and video surveillance services or equipment.
  - a. Recipients and subrecipients are prohibited from obligating or expending loan or grant funds to:
    1. Procure or obtain;
    2. Extend or renew a contract to procure or obtain; or
    3. Enter into a contract (or extend or renew a contract) to procure or obtain equipment, services, or systems that uses covered telecommunications equipment or services as a substantial or essential component of any system, or as critical technology as part of any system. As described in Public Law 115-232, section 889, covered telecommunications equipment is telecommunications equipment produced by Huawei Technologies Company or ZTE Corporation (or any subsidiary or affiliate of such

entities).

- i. For the purpose of public safety, security of government facilities, physical security surveillance of critical infrastructure, and other national security purposes, video surveillance and telecommunications equipment produced by Hytera Communications Corporation, Hangzhou Hikvision Digital Technology Company, or Dahua Technology Company (or any subsidiary or affiliate of such entities).
  - ii. Telecommunications or video surveillance services provided by such entities or using such equipment.
  - iii. Telecommunications or video surveillance equipment or services produced or provided by an entity that the Secretary of Defense, in consultation with the Director of the National Intelligence or the Director of the Federal Bureau of Investigation, reasonably believes to be an entity owned or controlled by, or otherwise connected to, the government of a covered foreign country.
- b. In implementing the prohibition under Public Law 115-232, section 889, subsection (f), paragraph (1), heads of executive agencies administering loan, grant, or subsidy programs shall prioritize available funding and technical support to assist affected businesses, institutions and organizations as is reasonably necessary for those affected entities to transition from covered communications equipment and services, to procure replacement equipment and services, and to ensure that communications service to users and customers is sustained.
- c. See Public Law 115-232, section 889 for additional information.
- d. See also § 200.471.

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## PROCUREMENT GUIDELINES

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### A. CHARGES AND PAYMENTS

#### 1. To Prime Contractor:

- a. Invoices for items ordered, delivered and accepted shall be submitted by the contractor directly to the payment address shown on the purchase order/contract. All invoices shall show the purchase order number.
- b. Any payment terms requiring payment in less than 30 days will be regarded as requiring payment 30 days after satisfactory invoice or delivery, whichever occurs last. This shall not affect offers of discounts for payment in less than 30 days, however.
- c. All goods or services provided under the contract, which are to be paid for with public funds, shall be billed by the contractor at the contract price, regardless of which public agency is being billed.
- d. The following shall be deemed to be the date of payment: the date of postmark in all cases where payment is made by mail, or the date of offset when offset proceedings have been instituted as authorized under the Virginia Debt Collection Act.
- e. Unreasonable Charges. Under certain emergency procurements and for most time and material purchases, final job costs cannot be accurately determined at the time orders are placed. In such cases, contractors should be put on notice that final payment in full is contingent on a determination of reasonableness with respect to all invoiced charges. Charges which appear to be unreasonable will be researched and challenged, and that portion of the invoice held in abeyance until a settlement can be reached. Upon determining that invoiced charges are not reasonable, COS shall promptly notify the contractor, in writing, as to those charges which it considers unreasonable and the basis for the determination. A contractor may not institute legal action unless a settlement cannot be reached within thirty (30) days of notification. The provisions of this section do not relieve City of Staunton of its prompt payment obligations with respect to those charges which are not in dispute (Code of Virginia, § 2.2-4363).

#### 2. Payment to Subcontractors:

An offeror awarded a contract under this solicitation is hereby obligated:

- a. To pay the subcontractor(s) within thirty (30) days of the offeror's receipt of payment from COS for the proportionate share of the payment received for work performed by the subcontractor(s) under the contract; or
- b. To notify the agency and the subcontractor(s), in writing, of the offeror's intention to withhold payment and the reason.
- c. The offeror is obligated to pay the subcontractor(s) interest at the rate of one percent per month (unless otherwise provided under the terms of the contract) on all amounts owed by the offeror that remain unpaid thirty (30) days following receipt of payment from COS, except for amounts withheld as stated in (b) above. The date of mailing of any payment by U.S. Mail is deemed to be payment to the addressee. These provisions apply to each sub-tier contractor performing under the primary contract. An offeror's

obligation to pay an interest charge to a subcontractor may not be construed to be an obligation of COS.

## **B. TESTING AND INSPECTION**

COS reserves the right to conduct any test/inspection it may deem advisable to assure goods and services conform to the specifications.

## **C. ASSIGNMENT OF CONTRACT**

A contract shall not be assignable by the offeror in whole or in part without the written consent of COS.

## **D. DEFAULT**

In case of failure to deliver goods or services in accordance with the contract terms and conditions, COS, after due oral or written notice, may procure them from other sources and hold the offeror responsible for any resulting additional purchase and administrative costs. This remedy shall be in addition to any other remedies which COS may have.

## **E. TAXES**

Sales to COS are exempt from State sales tax. State sales and use tax certificates of exemption, Form ST-12, will be issued upon request, as COS determines appropriate. Any deliveries under this contract shall be free of Federal excise and transportation taxes.

## **F. INDEMNIFICATION**

The Offeror agrees to indemnify, defend, and hold harmless COS and its Council members, officers, directors, agents and employees against any and all claims, liabilities, losses, damages, costs and expenses (including reasonable attorney fees) arising out of, or resulting from any and all injuries to persons or damage to property or intellectual infringement claim arising out of services performed hereunder or by reason of the intentional or negligent acts or omissions of the Offeror, its employees, agents or sub-contractors, including any independent contractors. The provisions of this section of shall survive the completion, termination or expiration of the contract.

## **G. LIABILITY AND LITIGATION**

COS shall not indemnify or hold harmless any contractor or other third party. COS does not waive any right or release any party from liability, whether on its own behalf or on behalf of any boards, employees or agents. COS does not waive the right to trial by jury for any cause of action arising from the Contract and shall not submit any Contract claim to binding arbitration or mediation. COS shall not be liable to contractor for any special, punitive or exemplary damages arising from the performance of the Contract, including, but not limited to, incidental damages, and lost profit and lost wages, even if such special damages are reasonably foreseeable. Any provision(s) in the Contract contrary to these statements is/are hereby deleted and rendered void.

## **H. COPYRIGHTS**

The Offeror hired pursuant to this contract is prohibited from copyrighting any papers, interim reports, forms, or other materials resulting from performance under the Contract without the written permission of COS. Data and their analysis, forms, and images gathered or developed during fulfillment of this Contract may be used by the Offeror in subsequent copyrighted

publications, provided the copyrights do not in any way restrict or limit COS's ownership, use, or distribution of said information, forms, or images.

## **I. CONTRACT CONDITIONS**

1. The offeror shall not use his/her position for the actual or apparent purpose of private gain other than payment for services rendered for himself/herself or another person, particularly one with whom he/she has family, business, or financial ties.
2. The offeror shall not convey inside information that has not become part of the body of public information and that would not be available upon request, directly to any person for the purpose of private gain for himself/herself or another person, particularly one with whom he/she has family, business, or financial ties.
3. The offeror shall not, either for or without compensation, engage in teaching, lecturing, or writing that is dependent on information obtained as a result of his/her employment with COS, except when that information has been made available to the general public or will be made available upon request, or when COS gives written authorization for the use of non-public information on the basis that the use is in the public interest.

## **J. AWARDING THE CONTRACT**

The award of a contract shall be determined in the sole discretion of COS based upon evaluation of all information as COS may request. COS reserves the right to waive any informality in proposals submitted in response to this RFP when such waiver is in the best interest of COS.

The evaluation process shall be based upon the criteria identified in Section VI Item B of this Request for Proposal. COS shall engage in individual discussions with two or more offerors deemed fully qualified, responsible and suitable on the basis of initial responses and with emphasis on professional competence, to provide the required services. Repetitive informal interviews shall be permissible. The offerors shall be encouraged to elaborate on their qualifications and performance data or staff expertise pertinent to the proposed Project, as well as alternative concepts.

The Request for Proposal shall not, however, request that offerors furnish estimates of man-hours or cost for services. At the discussion stage, COS may discuss nonbinding estimates of total Project costs, including, but not limited to, life-cycle costing, and where appropriate, nonbinding estimates of price for services. Proprietary information from competing offerors shall not be disclosed to the public or to competitors.

At the conclusion of discussion, outlined herein, on the basis of evaluation factors published in the Request for Proposal and all information developed in the selection process to this point, COS shall select in the order of preference two or more offerors whose professional qualifications and proposed services are deemed most meritorious.

Negotiations shall then be conducted, beginning with the offeror ranked first. If a contract satisfactory and advantageous to COS can be negotiated at a price considered fair and reasonable, the award shall be made to that offeror. Otherwise, negotiations with the offeror ranked first shall be formally terminated and negotiations conducted with the offeror ranked second, and so on until such a contract can be negotiated at a fair and reasonable price. Should COS determine in writing and in its sole discretion that only one offeror is fully qualified, or that one offeror is clearly more highly qualified and suitable than the others under consideration, a contract may be negotiated and awarded to that offeror.

COS shall endeavor to award the contract within thirty (30) days from receipt of proposals. Notice of award will be posted on the City of Staunton's Web Site at <http://www.staunton.va.us/solicitation-results>

#### **K. PUBLIC INSPECTION OF PROCUREMENT RECORDS**

1. Proposals submitted shall be subject to public inspection only in accordance with Section 2.2-4342 of the Code of Virginia, which reads, in essence, as follows:
2. Public inspection of certain records:
  - a. Except as provided in this section, all proceedings, records, contracts, and other public records relating to procurement transactions shall be open to the inspection of any citizen, or any interested person, firm or corporation, in accordance with the Virginia Freedom of Information Act.
  - b. Cost estimates relating to a proposed procurement transaction prepared by or for a public body shall not be open to public inspection.
  - c. Any competitive negotiation offeror, upon request, shall be afforded the opportunity to inspect proposal records within a reasonable time after the evaluation and negotiations of proposals are completed but prior to award, except in the event that COS decides not to accept any of the proposals and to reopen the contract. Otherwise, proposal records shall be open to public inspection only after award of the contract.
  - d. Any inspection of procurement transaction records under this section shall be subject to reasonable restrictions to ensure the security and integrity of the records.
  - e. Trade secrets or proprietary information submitted by a bidder, offeror or contractor in connection with a procurement transaction shall not be subject to the Virginia Freedom of Information Act; however, the bidder, offeror or contractor shall:
    - i. invoke the protections of this section prior to or upon submission of the data or other materials,
    - ii. identify the data or other materials to be protected, and
    - iii. state the reasons why protection is necessary.
  - f. Offeror may not invoke this protection on the entire proposal – only on those sections or data which are considered trade secrets or proprietary.

#### **L. ETHICS IN PUBLIC CONTRACTING**

By submitting their proposal, all offerors certify that their proposal is made without collusion or fraud and that they have not offered or received any kickbacks or inducements from any other offeror, supplier, manufacturer or sub-contractor in connection with their proposal, and that they have not conferred on any public employee having official responsibility for this procurement transaction any payment, loan, subscription, advance, deposit of money, services or anything of more than nominal value, present or promised unless consideration of substantially equal or greater value was exchanged.

#### **M. FORUM SELECTION**

This solicitation and any resulting contract shall be governed in all respects by the laws of the Commonwealth of Virginia, without reference to conflict of laws principles or rules of construction. Any action, proceeding, or claim in any way related to this agreement or the

relationship between the parties shall be filed and maintained solely in the General District Court or the Circuit Court of the City of Staunton, Virginia.

#### **N. PROMPT PAYMENT ACT**

Any contract awarded as a result of this Request for Bid shall incorporate the terms and conditions of Article 4 of the Virginia Public Procurement Act with respect to Prompt Payment.

#### **O. REJECTION OF BIDS**

COS reserves the right, at any time prior to award of the contract, to reject any and all bids, or any part thereof, to make no award, and/or to issue a new Request for Proposal, or make modifications, corrections or additions to the information contained herein.

Offerors are cautioned this is a Request for Proposal, NOT a request to contract.

#### **P. COSTS FOR BID PREPARATION**

Any costs incurred by offerors in preparing or submitting bids are the offeror's sole responsibility; COS will not reimburse any offeror for any costs incurred as a result of the preparation of this Request for Proposal.

#### **Q. APPROPRIATIONS**

The obligations of COS are subject to and contingent upon annual appropriation by City Council of sufficient funds for the purposes of this contract. Agreements are made subject to the appropriation of funds by the Staunton City Council and are null and void in the event of non-appropriation by COS. Non-appropriation of funds shall not be deemed a cancellation and shall terminate this agreement without recourse and with no liability on the part of COS.

#### **R. STATE CORPORATION COMMISSION IDENTIFICATION NUMBER**

Pursuant to Code of Virginia, §2.2-4311.2 subsection B, a bidder or offeror organized or authorized to transact business in the Commonwealth pursuant to Title 13.1 or Title 50 is required to include in its bid the identification number issued to it by the State Corporation Commission (SCC). (**Attachment SCC**)

Any bidder or offeror that is not required to be authorized to transact business in the Commonwealth as a foreign business entity under Title 13.1 or Title 50 or as otherwise required by law is required to include in its bid a statement describing why the bidder or offeror is not required to be so authorized. Link to the Virginia State Corporation Commission site: (<http://www.scc.virginia.gov/>).

#### **S. ANTITRUST**

By entering into a contract, the contractor conveys, sells, assigns, and transfers to COS all rights, title and interest in and to all causes of action it may now have or hereafter acquire under the antitrust laws of the United States and the Commonwealth of Virginia, relating to the particular goods or services purchased or acquired by COS under said contract.

#### **T. QUALIFICATIONS OF OFFERORS**

COS may make such reasonable investigations as deemed proper and necessary to determine the ability of the offeror to perform the services/furnish the goods and the offeror shall furnish to COS all such information and data for this purpose as may be requested. COS reserves the right to inspect offeror's physical facilities prior to award to satisfy questions regarding the offeror's capabilities. COS further reserves the right to reject any bid if the evidence submitted by, or investigations of, such offeror fails to satisfy COS that such offeror is properly qualified

to carry out the obligations of the contract and to provide the services and/or furnish the goods contemplated therein.

#### **U. CANCELLATION OF THE CONTRACT**

COS may terminate any agreement resulting from this solicitation at any time, for any reason or for no reason, upon thirty days advance written notice to the contractor. In the event of such termination the contractor shall be compensated for services and work performed prior to termination.

#### **V. SELECTION PROCESS/AWARD**

Upon the award or the announcement of the decision to award a contract as a result of this solicitation, the department will publicly post such notice for a minimum of ten (10) days, or will notify all responsive bidders/offerors.

#### **W. SAFETY AND OSHA STANDARDS**

All parties performing services for COS shall comply with all Occupational Safety and Health Administration (OSHA), State Occupational Health Standards, and any other applicable rules and regulations. All parties shall be held responsible for the training, supervision, and safety of their employees. Any unsafe acts or hazardous conditions that may cause injury or damage to any persons or property within and around the work site areas under this contract shall be remedied per the regulatory agency's guidelines.

#### **X. CONTRACT TERM**

The Offeror whose Bid is found to be the most advantageous to COS will be offered the opportunity to enter into an Agreement with COS. The scope, terms, and conditions of that Agreement shall be in substantial conformance with the terms, conditions, and specifications described in this RFP.

If, through any cause, the contractor shall fail to fulfill in a timely and proper manner the obligations agreed to, COS shall have the right to terminate the contract by specifying the date of termination in a written notice to the contractor at least thirty (30) days prior to the termination date. COS may terminate this contract without cause in the event funds are not appropriated.

Part of the consideration will be the capability of the Offeror to immediately begin work and meet the proposed timetable above.

COS reserves the right to negotiate the Agreement, to include any portion or portions of the services covered by this RFP, and to reject any and all Bids in total or by components.

The contractor shall not assign or transfer any interest in the contract without prior written consent of COS.

#### **Y. COMPENSATION AND RECORD KEEPING**

Total compensation for services will be negotiated between COS and the successful Offeror. COS retains the right to terminate contract negotiations if insufficient progress is being made to establish contract terms. The Offeror selected will be paid on a percentage of progress completed basis, as provided for in the contract or lump sum at completion of the Project. The contract will be written on a "cost not to exceed" basis. Records are to be kept by the Offeror in such detail as to properly reflect all direct or indirect costs of labor and material for which payment will be claimed.

**Z. PAYMENT**

Appropriate personnel will make payment for all completed work only after final approval and acceptability of the work completed.

**AA. ADDENDA**

Prior to submitting their bid, it is the offeror's responsibility to check the City of Staunton's web-site for any addenda associated with this Request for Proposal.

**BB. INSURANCE**

Insurance shall be in amounts not less than \$2,000,000 General Liability, \$1,000,000 Worker's Comp, and \$1,000,000 Vehicle respectively or such other insurance as is satisfactory and may be approved by COS. Insurance shall be written by companies licensed to do business in the Commonwealth of Virginia and shall list COS as an additional insured.

**CC. CONTRACT TERMINATION**

This contract will not be awarded to any vendor who has had a previous contract with COS terminated for substantial non-compliance within the last three (3) years.

**DD. DEBARMENT STATUS**

By submitting their bids, all bidders or offerors certify that they are not currently debarred from submitting bids on contracts by any public body of the Commonwealth of Virginia, nor are they an agent of any person or entity that is currently debarred from submitting bids on contracts by any public body of the Commonwealth of Virginia.

**EE. CONTRACTOR UNDERSTANDING**

It is understood and agreed that the Contractor has, by careful examination, satisfied himself as to the nature and locations of the work, the character of equipment and facilities needed preliminary to and during the prosecution of the work, the general and local conditions and all other matters which in any way effect the work under this contract. No verbal agreement or conversation with any officer, agent or employee of COS either before or after the execution of this contract, shall affect or modify any of the terms or obligations herein contained.

**FF. DRUG-FREE WORKPLACE**

During the performance of this contract, the contractor agrees to:

1. provide a drug-free workplace for the contractor's employees;
2. post in conspicuous places, available to employees and applicants for employment, a statement notifying employees that the unlawful manufacture, sale, distribution, possession, or use of a controlled substance or marijuana is prohibited in the contractor's workplace and specifying the actions that will be taken against employees for violations of such prohibition;
3. state in all solicitations or advertisements for employees placed by or on behalf of the contractor that the contractor maintains a drug-free workplace; and
4. include the provisions of the foregoing clauses in every subcontract or purchase order of over \$10,000.00, so that the provisions will be binding upon each subcontractor or vendor.

## **GG. ANTI-DISCRIMINATION**

By submitting proposals, offerors certify to COS that they will conform to the provisions of the Federal Civil Rights Act of 1964, as amended, as well as the Virginia Fair Employment Contracting Act of 1975, as amended, when applicable, the Virginians With Disabilities Act, the Americans With Disabilities Act and § 2.2-4311 of the *Virginia Public Procurement Act (VPPA)*. If the award is made to a faith-based organization, the organization shall not discriminate against any recipient of goods, services, or disbursements made pursuant to the contract on the basis of the recipient's religion, religious belief, refusal to participate in a religious practice, or on the basis of race, age, color, gender, or national origin and shall be subject to the same rules as other organizations that contract with public bodies to account for the use of the funds; provided, however, if the faith-based organization segregates public funds into separate accounts, only the accounts and programs funded with public funds shall be subject to audit by the public body. (*Code of Virginia*, § 2.2-4343.1E).

In every contract over \$10,000 the provisions in 1. and 2. below apply:

1. During the performance of this contract, the contractor agrees as follows:
  - a. The contractor will not discriminate against any employee or applicant for employment because of race, religion, color, sex, national origin, age, disability, or any other basis prohibited by state law relating to discrimination in employment, except where there is a bona fide occupational qualification reasonably necessary to the normal operation of the contractor. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.
  - b. The contractor, in all solicitations or advertisements for employees placed by or on behalf of the contractor, will state that such contractor is an equal opportunity employer.
  - c. Notices, advertisements and solicitations placed in accordance with federal law, rule or regulation shall be deemed sufficient for the purpose of meeting these requirements.
2. The contractor will include the provisions of 1. above in every subcontract or purchase order over \$10,000, so that the provisions will be binding upon each subcontractor or vendor.

## **HH. PERMITS AND LICENSES**

Any required City permits must be obtained by the contractor but will be provided at no cost. The successful contractor must obtain at his/her own expense, the required business license from the City of Staunton, Commissioner of Revenue's Office prior to beginning work. All equipment and/or installation must meet all applicable local, State, and Federal codes.

## **II. NEGOTIATION WITH SUCCESSFUL OFFEROR**

COS reserves the right to negotiate contract terms with the successful offeror for items/services other than those specifically stated in this RFP in the best interest of COS and agreed to by the contractor, in accordance with § 2.2-4318 of the Code of Virginia. Additional work of reasonable scale shall be priced consistent with bid to allow for additions and future expansions.

**JJ. IMMIGRATION REFORM AND CONTROL ACT OF 1986**

During the performance of this contract, contractor agrees that they will not, and shall not knowingly employ an unauthorized alien as defined in the federal Immigration Reform and Control Act of 1986. (per 2.2-4311.1)

**KK. CERTIFICATION OF INTEREST & RELATIONSHIPS WITH CITY OF STAUNTON, STAUNTON CITY COUNCIL, SCHOOL BOARD, AND STAUNTON PUBLIC SCHOOL EMPLOYEES**

The extent that either Contractor or any of Contractor's officers, directors, or executive employees, maintains a financial or familial relationship with any person acting for, or employed by, the City of Staunton, Staunton City Council, School Board or Staunton Public Schools, Contractor shall reveal such relationships. In accordance with this paragraph, Contractor shall execute the certification attached hereto as **(Attachment B)** and submit the certification contemporaneously with the executed Contract.

**LL. COOPERATIVE PROCUREMENT**

This procurement is being conducted on behalf of other public bodies, in accordance with § 2.2-4304 (A) of the Code of Virginia. If authorized by the offeror, the resultant contract may be extended to any public body in the Commonwealth of Virginia in accordance with contract terms.

**MM. MODIFICATION & WITHDRAWAL OF BID**

An offeror may modify or withdraw his bid, either personally or by written request, at any time prior to the scheduled time for opening of bids. After bid opening, Code of Virginia 2.2-4330 B. 1. shall apply: "The offeror shall give notice in writing of his claim of right to withdraw his bid within two business days after the conclusion of the bid opening procedure and shall submit original work papers with such notice."

**NN. TRADE SECRETS / PROPRIETARY INFORMATION**

Trade secrets or proprietary information submitted by an offeror in connection with a procurement transaction shall not be subject to public disclosure under the Virginia Freedom of Information Act; however, offerors must invoke the protections of this section prior to or upon submission of the data or other materials by submitting a redacted copy of the bid along with the bid submission requirements.

The offeror must identify the data or other materials to be protected and state the reasons why protection is necessary. Disposition of material after award(s) should be stated by the offeror.

**OO. COMPETITIVE NEGOTIATION**

The procurement method is competitive negotiation as defined in Section 2.2-4301 of the Code of Virginia (1950) as amended. This RFP indicates, in general terms, the nature of the program and services being sought. Each offeror is to submit the bid(s) that best suits the needs of COS.

The specific requirements for the contents of bids are contained in the RFP. Offerors are encouraged to provide additional information not specifically identified as a requirement if that additional information enables the bid to better suit the needs of COS.

In order to procure the program that best suits the needs of COS, the competitive negotiation process and evaluation criteria consider factors in addition to cost.

**PP. PRECEDENCE OF TERMS**

The following General Terms and Conditions, APPLICABLE LAWS AND COURTS, ANTI-DISCRIMINATION, ETHICS IN PUBLIC CONTRACTING, IMMIGRATION REFORM AND CONTROL ACT OF 1986, DEBARMENT STATUS, ANTITRUST, PAYMENT shall apply in all instances. In the event there is a conflict between any of the other General Terms and Conditions and any Special Terms and Conditions in this solicitation, the Special Terms and Conditions shall apply unless contrary to express law.

#### **QQ. QUALIFICATIONS OF OFFERORS**

By submitting a proposal, an offeror authorizes COS to make such reasonable investigations with the offeror and with any third party, as deemed proper and necessary in the sole discretion of the COS to determine the ability of the offeror to perform the services under this RFP, and the offeror also authorizes the third party to provide any information requested by COS, even if the information is adverse to the offeror. COS reserves the right to inspect offeror's physical facilities and previous work and record prior to award to satisfy questions regarding the offeror's capabilities. COS further reserves the right to reject any proposal if the evidence submitted by, or investigations of, such offeror fails to satisfy COS that such offeror is fully qualified to carry out the obligations of the contract and to provide the procured services in all respects.

#### **RR. PRICE CURRENCY**

Unless stated otherwise in the solicitation, Offerors shall state offer prices in US dollars.

#### **SS. AUTHORIZATION TO CONDUCT BUSINESS IN THE COMMONWEALTH**

An offeror organized as a stock or nonstock corporation, limited liability company, business trust, or limited partnership or registered as a registered limited liability partnership shall be authorized to transact business in the Commonwealth as a domestic or foreign business entity if so required by Title 13.1 or Title 50 of the Code of Virginia or as otherwise required by law. Any business entity described above that enters into a contract with a public body pursuant to the Virginia Public Procurement Act shall not allow its existence to lapse or its certificate of authority or registration to transact business in the Commonwealth, if so required under Title 13.1 or Title 50, to be revoked or cancelled at any time during the term of the contract. COS may void any contract with a business entity if the business entity fails to remain in compliance with the provisions of this section. Any LLC Offeror's signatory to any document related to this procurement shall be regarded as a declaration under penalty of perjury that the signatory has full authority to execute the document as a legally binding obligation of the LLC and there are no restrictions or conditions to the LLC's contractual commitment or the execution of all documents related thereto.

**ATTACHMENT A**

**PROPRIETARY/CONFIDENTIAL INFORMATION IDENTIFICATION FORM**

**Code of Virginia 2.2-4342F** (updated 07/01/18): “Trade secrets or proprietary information submitted by a bidder, offeror, or contractor in connection with a procurement transaction or prequalification application submitted pursuant to subsection B of § 2.2-4317 shall not be subject to the Virginia Freedom of Information Act (§ 2.2-3700 et seq.); however, the bidder, offeror, or contractor shall (i) invoke the protections of this section prior to or upon submission of the data or other materials, (ii) identify the data or other materials to be protected, and (iii) state the reasons why protection is necessary. A bidder, offeror, or contractor shall not designate as trade secrets or proprietary information (a) an entire bid, proposal, or prequalification application; (b) any portion of a bid, proposal, or prequalification application that does not contain trade secrets or proprietary information; or (c) line-item prices or total bid, proposal, or prequalification application prices.”

Trade secrets or proprietary information shall be identified in writing on this form, either before or at the time the data or other material is submitted. **Note: If proprietary/confidential information is identified, Bidder/Offeror must submit a redacted copy (in electronic PDF format) of their bid/proposal in addition to the required number of copies requested.** The proprietary or trade secret material must be clearly identified in the redacted bid/proposal copy by a distinct method such as highlighting or underlining and must indicate only the specific words, figures, or paragraphs that constitute a trade secret or proprietary information. The designation of an entire proposal document, line-item prices, and/or total proposal prices as proprietary or trade secrets is not acceptable. If, after being given reasonable time, the offeror refuses to withdraw such a classification designation, the proposal will be rejected.

SECTION NUMBER	PAGE NUMBER	REASON

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date

**ATTACHMENT B**

**CERTIFICATION OF INTEREST & RELATIONSHIPS  
WITH CITY OF STAUNTON, STAUNTON CITY COUNCIL,  
SCHOOL BOARD AND STAUNTON PUBLIC SCHOOL EMPLOYEES**

Contractor hereby certifies that neither Contractor, nor any of Contractor’s officers, directors, or executive employees maintain a financial or familial relationship with any person acting for, or employed by, the City of Staunton, Staunton City Council, School Board, or Staunton City Schools (City Employee).

To the extent that such relationships exist, Contractor shall reveal the relationship below by describing the nature of the relationship and identifying the person with whom such relationship exists.

Neither Contractor nor any of its officers, directors, or executive employees maintain a financial or familial relationship with any person acting for, or employed by, the City of Staunton, Staunton City Council, School Board, or Staunton City Schools.

The following individuals currently maintain a ***financial*** relationship with Contractor.

**City Employee’s Name:** \_\_\_\_\_

**Position with City:** \_\_\_\_\_

**Nature of Relationship:** \_\_\_\_\_

The following individuals currently maintain a ***familial*** relationship with Contractor.

**City Employee’s Name:** \_\_\_\_\_

**Position with City:** \_\_\_\_\_

**Nature of Relationship:** \_\_\_\_\_

\_\_\_\_\_  
Contractor

\_\_\_\_\_  
Date

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**ATTACHMENT SCC  
PROOF OF AUTHORITY TO TRANSACT BUSINESS IN VIRGINIA**

Pursuant to Virginia Code §2.2-4311.2, an Offeror/Contractor organized or authorized to transact business in The Commonwealth pursuant to Title 13.1 or Title 50 of the Code of Virginia shall include in its proposal/bid the identification number issued to it by the State Corporation Commission ("SCC").

Any Offeror/Contractor that is not required to be authorized to transact business in the Commonwealth as a foreign business entity under Title 13.1 or Title 50 of the Code of Virginia or as otherwise required by law shall include in its proposal/bid a statement describing why the Offeror/Contractor is not required to be so authorized.

Any Offeror/Contractor described herein that fails to provide the required information shall not receive an award unless a waiver of this requirement and the administrative policies and procedures established to implement this section is granted by the Finance Business Manager, as applicable.

If this quote for goods or services is accepted by the COS, the undersigned agrees that the requirements of the Code of Virginia Section 2.2-4311.2 have been met.

Please complete the following by checking the appropriate line that applies and providing the requested information.

**PLEASE NOTE: The SCC number is NOT your federal ID number or business license number.**

A.  Offeror/Contractor is a Virginia business entity organized and authorized to transact business in Virginia by the SCC and such Contractor's Identification Number issued to it by the SCC is: \_\_\_\_\_

B.  Offeror/Contractor is an out-of-state (foreign) business entity that is authorized to transact business in Virginia by the SCC and such Contractor's Identification Number issued to it by the SCC is: \_\_\_\_\_

C.  Offeror/Contractor does not have an Identification Number issued to it by the SCC and such Contractor is not required to be authorized to transact business in Virginia by the SCC for the following reason(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Please use the following additional sheet if you need to explain why such Offeror/Contractor is not required to be authorized to transact business in Virginia.**

Legal Name of Company (as listed on W-9): \_\_\_\_\_

Legal Name of Offeror/Contractor: \_\_\_\_\_ of \_\_\_\_\_

Date: \_\_\_\_\_

Authorized Signature: \_\_\_\_\_

Print or Type Name and Title:

**Explanation for Section C (continued):**

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**CONTRACTOR REFERENCES FORM**

**Note:** The following information is required as part of your response to this solicitation. Failure to complete and provide this sheet may result in finding your quote nonresponsive.

1) Qualification: The Contractor must have the capability and capacity in all respects to satisfy fully all of the contractual requirements.

2) Contractor’s Primary Contact:

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

3) Years in Business: Indicate the length of time you have been in business providing this type of good or service:

\_\_\_\_\_ Years \_\_\_\_\_ Months

4) Contractor Information:

Contractor SCC Registration #: \_\_\_\_\_

5) Indicate below a listing of at least four (4) current or recent accounts, either commercial or governmental, that your company is servicing, has serviced, or has provided similar goods. Include the length of service and the name, address, and telephone number of the point of contact.

A. Company: _____	Contact: _____
Phone: ( ) _____	E-Mail: _____
Project: _____	
Dates of Service: _____	\$ Value: _____

B. Company: _____	Contact: _____
Phone: ( ) _____	E-Mail: _____
Project: _____	
Dates of Service: _____	\$ Value: _____

Continued on Next Page

**CONTRACTOR REFERENCES FORM  
(Cont.)**

C. Company: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Phone: (    ) \_\_\_\_\_ E-Mail: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 Dates of \_\_\_\_\_  
 Service: \_\_\_\_\_ \$ Value: \_\_\_\_\_

D. Company: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Phone: (    ) \_\_\_\_\_ E-Mail: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 Dates of \_\_\_\_\_  
 Service: \_\_\_\_\_ \$ Value: \_\_\_\_\_

I certify the accuracy of this information.

Signed: \_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_

**ATTACHMENT C**

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**SPACE NEEDS STUDY  
STAUNTON JUVENILE & DOMESTIC RELATIONS COURT  
MARCH 31, 2022; REVISED MAY 27, 2022  
PREPARED FOR CITY OF STAUNTON  
BY THOMPSON & LITTON**

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# SPACE NEEDS STUDY



## Staunton Juvenile & Domestic Relations Court Space Needs Study Staunton, Virginia

Prepared for  
City of Staunton

T&L Project No. 16559  
March 31, 2022  
May 27, 2022 REVISED



**THOMPSON  
& LITTON** EST.  
1956

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## BACKGROUND

Thompson & Litton was contracted by the City of Staunton to review the Space Needs for the City of Staunton Juvenile and Domestic Relations Court. Currently the City J&DR Court is combined with the Augusta County Court system and share General District Courts located at 6 East Johnson Street in Staunton, Virginia. The current location is the former jail and from a previous study, the building would be costly to renovate due to the type of construction. The interior walls are all concrete masonry units and divide building into small spaces (former jail cells). The floor to floor heights are low and would not accommodate new mechanical systems and allow for greater ceiling heights typically recommended for courtrooms. This Study defines the needs of the City of Staunton for the J&DR and not the needs of the Augusta County J&DR.

T&L 's responsibilities included:

- Assess the current space utilized by the courts,
- Interviewing the current staff and discussing programming and space needs
- Report on the findings including an approximate square footage for needs
- Provide an order of magnitude estimate of probable costs based on the assessed square footage needs

## **EXECUTIVE SUMMARY**

The intention of this Space Needs Study is to give the City of Staunton the physical space requirements for the Staunton Juvenile and Domestic Relations Courts if the City was to separate courts from Augusta County.

This Study provides the square footage requirements necessary to house the Staunton J&DR Courts based on the interviews with the judges, clerk, the sheriff, and the walk-through of the existing facilities. Space requirements and sizes were also derived from the 2015 Edition of the Virginia Courthouse Facility Guidelines prepared by Don Hardenbergh of Court works. The Study provides a spatial diagram based on a one-story facility.

The Study also provides the City with a high level Order of Magnitude of Probable Costs and a spatial relationship analysis. The high level of Order of Magnitude of Probable Costs were evaluated on both the renovation of an existing building and the construction of a new building on an undeveloped site.

Currently some staff at the Court are employed by Augusta County and the City of Staunton would be required to evaluate the staffing needs. The staffing needs are not included in this report, nor are the costs associated with additional staff included in the cost estimates.

## PROGRAMMING SPACE NEEDS CHART

# Programming Chart Staunton J&DR Courts

Thompson & Litton

Project No. 16559-00

May 28, 2022

SPACE DESCRIPTION	NUMBER	SF(each) ^1	Subtotal	REMARKS
<b>General information / Site Data</b>				
Security Control Area	1	100	100	
Security Fingerprinitng / Booking				
Waiting Rooms	4	300	1,200	to seat 20 each
Judges Chambers	2	350	700	
Staff Conference Rooms	2	250	500	
Library	2	200	400	
Entrance Lobby	1	200	200	
Sallyport	1	600	600	
Courtrooms	2	1,200	2,400	
Clerk Office	1	220	220	
Clerk Offices	2	120	240	
Clerk Teller Area / Workroom	1	550	550	
Private Consultation Area	1	80	80	
Document Viewing Room	1	80	80	
Staff Restrooms	6	70	420	Private
Public Restrooms	2	300	600	Multiple Stall and Family
Archive Files Storage ^2	1	800	800	
Active File Storage ^2	1	200	200	
Secure Storage	1	100	100	
Breakroom	1	200	200	
Holding Cells	4	150	600	
Small Conference / Attorney Rooms	4	100	400	
			0	
Total Gross SF space required			10,590	
Factors (Based on Virginia Courthouse Facility Guidelines)				
Component Gross Square Footage CGSF (25%)			2,648	
Building Gross Square Footage BGSF (50%)			5,295	
Corridors/Mechanical/Electrical/IT				
<b>Total SF recommended</b>			<b>18,533</b>	

^1 Square footage recommended by the Virginia Courtrooms Facility Guidelines

^2 File Storage based on existing storage estimate at time of walk through plus additional SF for future needs.

## ORDER OF MAGNITUDE COST ESTIMATES

- Renovation
- New Construction/New Site



**City of Staunton**

*Staunton Juvenile and Domestic Relations Courts  
Renovation*

**Preliminary Order of Magnitude Project Cost Estimate**

<b>Hard Costs:</b>		<u>Budget</u>	
^1	Site Development	\$500,000	
^2	Building	\$4,059,675	18,043 SF
	Fixtures, Furnishings & Equipment (FF&E)	\$75,000	
^3	Telecom, Security, A/V-IT, etc.	\$100,000	
^4	Owner Provided items (appliances)	\$10,000	
	subtotal	\$4,744,675	
	Design Contingency	\$711,701	15%
	subtotal	\$5,456,376	
	Escalation to mid-point of Construction	\$300,101	5.5%
	subtotal	\$5,756,477	
<b>Soft Costs:</b>			
^5	A/E Basic and Supplemental Services		
	Testing & Inspections	\$545,638	
	Reimbursable Expenses	\$10,000	
	subtotal	\$555,638	
<b>Total Costs:</b>			
	Project Subtotal Cost (Hard + Soft)	\$6,312,115	
	Project Contingency	\$946,817	15.0%
	subtotal	\$7,258,932	
*	<b>Total Estimated Project Cost</b>	<b>\$7,258,900</b>	*

\* Total rounded to nearest \$100.

^1 Site Development may include revisions to parking. ADA access to the building, if needed.

^2 Estimated \$225 per square foot

^3 All Computer, security, communications and phone equipment to be provided by Owner. Access control power and conduit will be included in construction at location per owner direction.

^4 Kitchen appliances / Copiers, etc.

^5 Comprehensive Design and Construction Phase Services. Supplemental Services: Survey, Civil Engineering, minimal Landscape Design, Interior Design, FF&E selection, Independent Cost Estimating, Record Documents, etc.

Third party, code-required Agency; services to be acquired by the City.



**City of Staunton**

*Staunton Juvenile and Domestic Relations Courts*

*New Construction/New Site*

**Preliminary Order of Magnitude Project Cost Estimate**

**Hard Costs:**

		<u>Budget</u>	
^1	Site Development	\$1,800,000	
^2	Building	\$5,863,975	18,043 SF
	Fixtures, Furnishings & Equipment (FF&E)	\$75,000	
^3	Telecom, Security, A/V-IT, etc.	\$100,000	
^4	Owner Provided items (appliances)	\$10,000	
	subtotal	<u>\$7,848,975</u>	
	Design Contingency	\$1,177,346	15%
	subtotal	<u>\$9,026,321</u>	
	Escalation to mid-point of Construction	\$496,448	5.5%
	subtotal	<u>\$9,522,769</u>	

**Soft Costs:**

^5	A/E Basic and Supplemental Services		
	Testing & Inspections	\$902,632	
	Reimbursable Expenses	\$10,000	
	subtotal	<u>\$912,632</u>	

**Total Costs:**

	Project Subtotal Cost (Hard + Soft)	\$10,435,401	
	Project Contingency	\$1,565,310	15.0%
	subtotal	<u>\$12,000,711</u>	

**\* Total Estimated Project Cost \$12,000,700 \***

\* Total rounded to nearest \$100.

^1 Site development for the entire site in one phase including grading, utilities, concrete & asphalt paving, parking, E&S, SWM, minimal landscaping, etc.

^2 Estimated \$325 per square foot

^3 All Computer, security, communications and phone equipment to be provided by Owner. Access control power and conduit will be included in construction at location per owner direction.

^4 Kitchen appliances / Copiers, etc.

^5 Comprehensive Design and Construction Phase Services. Supplemental Services: Survey, Civil Engineering, minimal Landscape Design, Interior Design, FF&E selection, Independent Cost Estimating, Record Documents, etc.

Third party, code-required Agency; services to be acquired by the City.

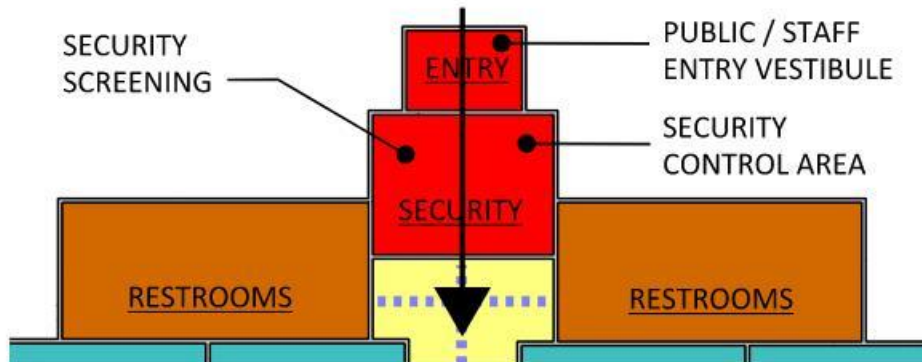
## SPATIAL RELATIONSHIPS

In courthouse design the following factors should be considered:

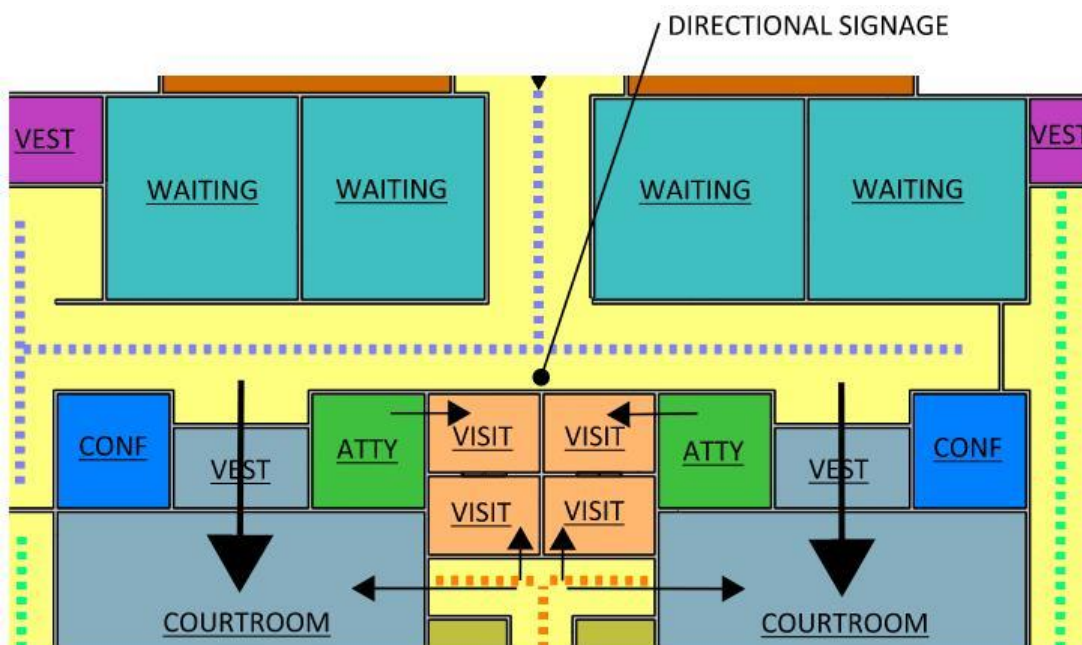
- Separation of circulation for the public, court professionals and in-custody accused persons with electronic access control
- Security Screening at the front entrance
- Electronic Access Control on all exterior doors
- Separate Access to the courtrooms from the public, court professionals and in-custody accused persons
- Future needs
- Acoustical needs of the courtroom and private conference rooms/offices.
- Americans with Disabilities Act (ADA)

Public/Staff Entrance:

The public entrance should be a well-defined area accessible from a convenient parking lot to the facility. Per the Virginia Courthouse Facility Guidelines, sufficient space should be allowed to permit at least 20 people to line up within the building prior to walking through the screening stations. The entry is required by the Virginia Energy Conservation Code to have a vestibule for climate control. The entry would lead directly to the security screening area. The secure screening area would be manned by bailiffs (currently staffed by Augusta County). There should be only one way into the security screening area and one way into the main building. The public entrance would include easy access to restrooms, one for each gender and a couple of single-use restrooms.

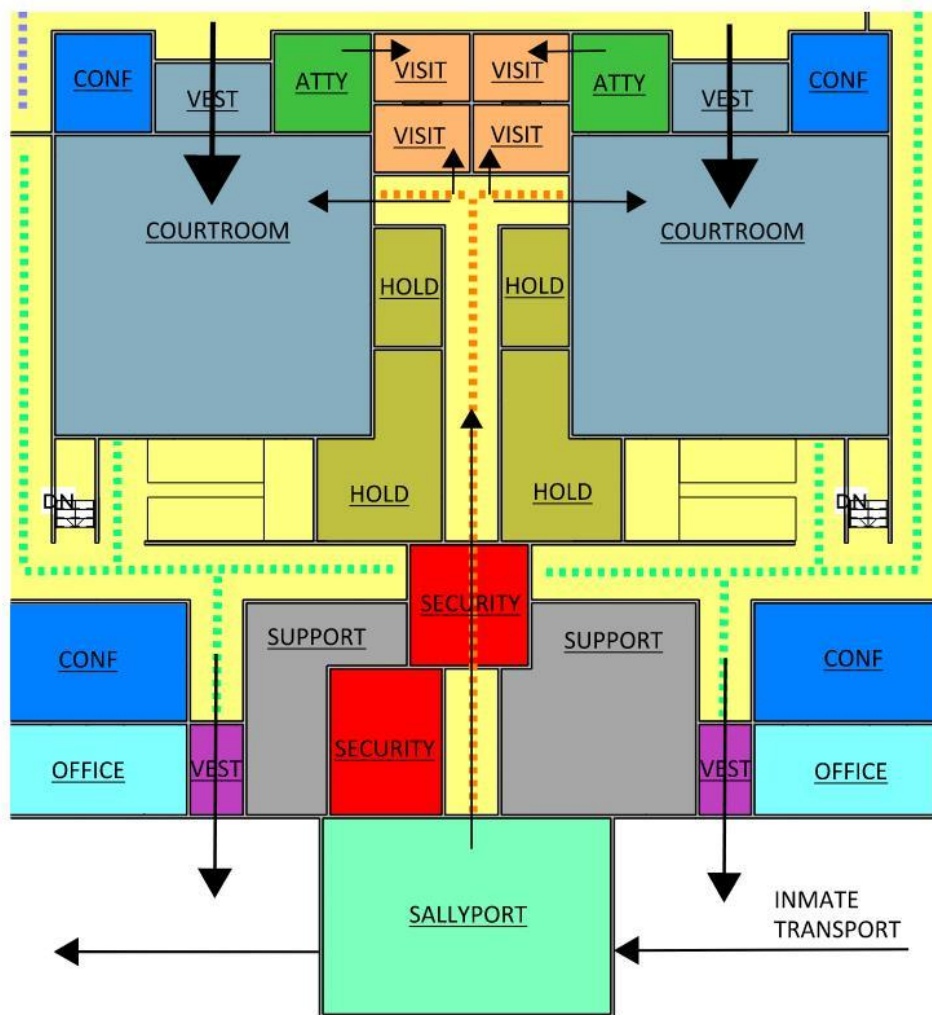


The entrance would lead directly to the waiting rooms for the courtrooms. For each courtroom, it is suggested that two separated waiting areas for parties waiting for court. Waiting rooms would be located directly across from the courtroom entry vestibule. If more separation is required of parties waiting for court hearings, a conference room with direct access to the courtroom vestibule is suggested. This room could also serve as the video conferencing room for those cases demanding such.

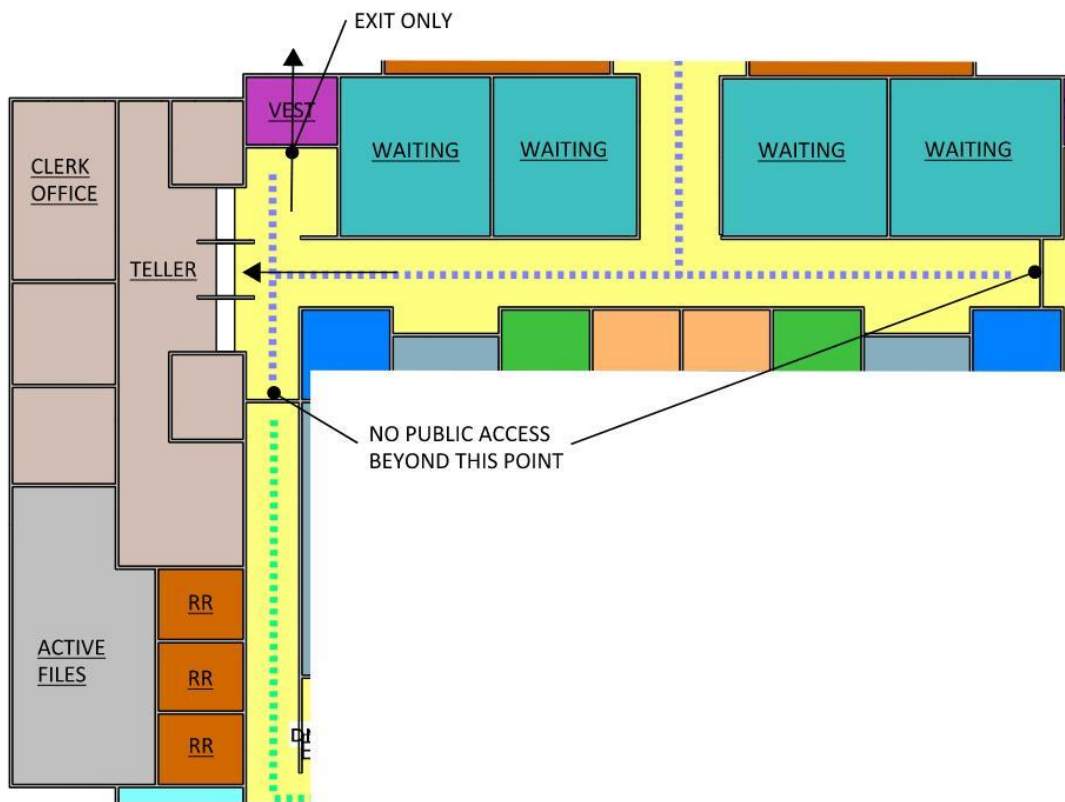


An attorney's office could also be located adjacent to the vestibule for client consultation and could have direct access to a visitation room for clients that must be separated from the public (inmates) and are being held in the holding cells.

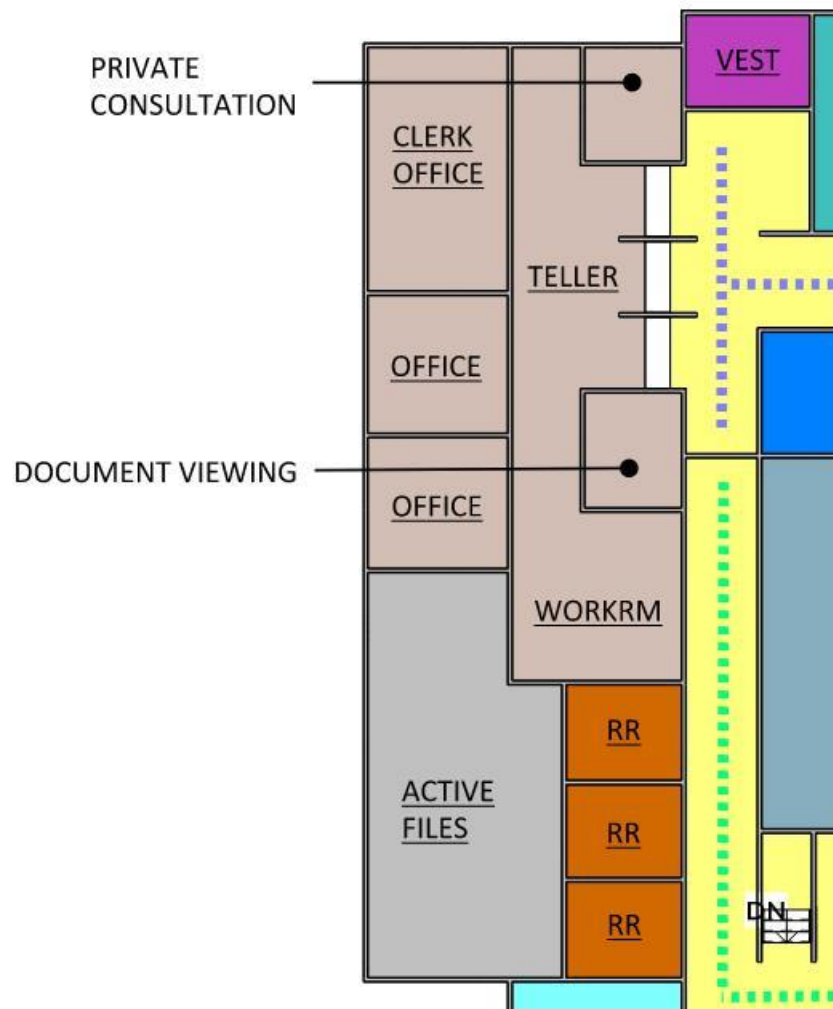
The holding cells would have direct access to the courtroom with no access to the public or courtroom personnel. Holding cells should accommodate separate holding cells for men, women, and juveniles. Cells should be designed large enough to accommodate multiple persons. Access to the holding cells would be from a secure vestibule through a corridor with limited access to the staff, clerks, judges and the public. A sallyport for prisoner transport is suggested and would have direct access to the secure vestibule (non-public).



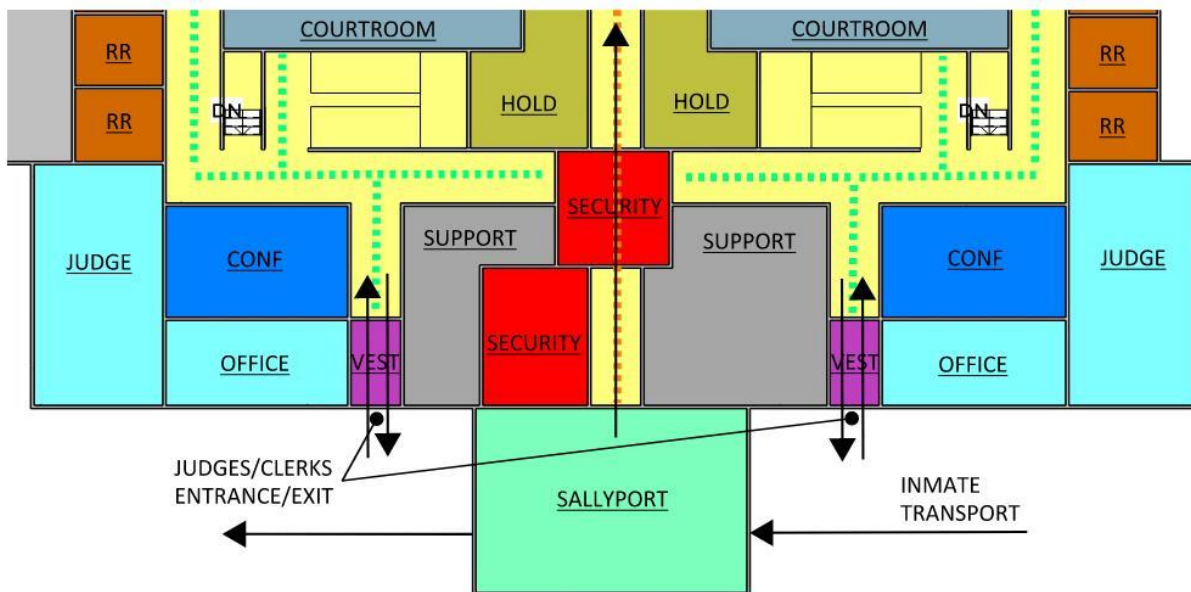
The public would be contained in the front area of the building with access to the restrooms, waiting rooms, courtrooms and clerk/teller area. The clerk/teller area could be located adjacent to the waiting areas. A separate exit from the teller area for the public is suggested so the public could pay at the teller window and then exit the building without having to go back through the secure vestibule.



The clerk area would have direct access to the public for payments, access to current files and a secondary access to the remainder of the facility (no public access). The clerks would have private offices that could have a visual connection to the tellers and a connection to a workroom. Also adjacent to the clerk work room could be active file storage.



Beyond the public access point could be staff toilets, judge's chambers and support offices, mechanical/electrical rooms, IT support rooms, archived files storage, custodial closets and access to the courtrooms from a separate entrance. A separate access entrance to the facility for the clerks and judges is recommended from a secured parking area. Access to the elevated judge's bench in the courtroom could be by stair and or ramp. A ramp would be required to comply with the Americans with Disabilities Act (ADA).



The following graphic is the combination of spatial relations listed previously. It is not intended to be a floor plan. The spatial relations were viewed as a one-story relationship, but could be stacked if an existing facility was to be utilized with a smaller footprint.





**APPENDIX**



# MEETING MINUTES



<b>Project Name</b>	Staunton Juvenile & Domestic Relations	<b>Date of Meeting</b>	January 31, 2022
<b>Project No.</b>	16559-00	<b>Time of Meeting</b>	3:00 pm
<b>Prepared By</b>	Erica Sunshine	<b>Location of Mtg.</b>	City of Staunton
<b>Preparer E-mail Address</b>	esunshine@t-l.com	<b>Preparer Telephone No.</b>	540-633-1897

<b>Purpose of Meeting</b>
Space Needs meeting for Staunton J&DR Courts

<b>Meeting Attendees</b>			
<b>T&amp;L</b>	<b>Client</b>	<b>Client</b>	
Erica Sunshine	Hon. Correy R. Smith	Leslie Beauregard, Acting City Manager	
Michael Jeffries	Hon. Susan B. Read	John Blair, City Attorney	
	Hon. Linda Schorsch Jones	Jeff Johnston, Director of Public Works	
	Teresa Smith, J&DR Clerk		
	Lyle Hartt, City Engineer		

<b>Distribution</b>			
<b>T&amp;L</b>	<b>Client</b>	<b>Others</b>	
Erica Sunshine	Hon. Correy R. Smith	Leslie Beauregard, Acting City Manager	
Michael Jeffries	Hon. Susan B. Read	John Blair, City Attorney	
	Hon. Linda Schorsch Jones	Jeff Johnston, Director of Public Works	
	Teresa Smith, J&DR Clerk		
	Lyle Hartt, City Engineer		

<b>Agenda</b>
1. Introductions
2. Discussion of Program

## **Minutes** *(identify Action Items with bold, italicized font)*

1. The meeting began at approximately 3:00 pm.

The meeting was held to introduce T&L to Staunton City members and the members of the J&DR Courts and to begin the programming effort to develop the Space needs for the J&DR Courts. The following is a record of the meeting and the follow up walk through of the current courts.

Issues with current location:

- No cell service on upper floors
- Files are located on multiple floors

- Files are on carts – not safe
- Security is the largest concern

#### Space requirements:

- Courtroom – need three
- Courtroom should be designed in landscape format (wider than depth)
- Courtrooms to have multiple desks for proceedings, small gallery space, 2-3 benches
- Need for a witness box
- No need for a jury box
- Judge to have clear vision to all parts of the courtroom
- Conference room adjacent to the Courtroom
- Monitors needed in the Courtroom
- Office/desk space for 3 clerks
- File storage – approximately 800 SF
- Judges chambers need direct access to the courtroom from non-public corridor.
- Judge chambers to have small table and seating and private robing and toilet area.
- Waiting rooms needed (at least two)
- Wider corridors
- Accessible toilet rooms for public
- Accessible toilet rooms for staff – separate from public
- Police area for booking and fingerprinting
- Access to cashier – close to the courtroom, not necessary to be at the front entrance.
- 2 cashier stations – one for money the other for paperwork
- Bullet resistant glazing desired.
- Would like to have natural light in office and clerical area – not in courtrooms
- Entrance has two baliffs. Screening area.
- Separate employee entrance
- Two deputies in courtroom
- Video capabilities for witnesses (room adjacent to courtroom)
- Two holding cells per courtroom
- Inmate transport/drop off
- Court services: intake officers (2)
- Conference Rooms (2 small and 1 large)
- Conference Room for judges and clerks
- Secure parking for judges and staff
- No current after hour programs

2. The meeting concluded at approximately 1:30 pm.

# MEETING MINUTES



3. A telephone meeting was held between Erica Sunshine and Sheriff Chris Hartless on February 17, 2022. The following are notes Sunshine made during the call:
- Security Entrance (Main Entrance)
    - Need a desk space for deputy
    - Prefer to have bullet-resistant panels and glass
    - Metal detector only, no x-ray scanner
    - Clerks/Judges do not go through detector, but it is preferred if staff go through the detector
    - Open view of doorway
    - Funnel visitors to the detector
  - Courtroom Security
    - Need a chair for deputies
    - Need a small working / writing surface
    - Adjacent holding cells
    - Small visitation room (by attorney's only)
    - Holding cells should by-pass public
  - Prisoner Transport
    - Sally port needed
    - Separate from Main Entry and public corridors
    - Direct Access to holding cells
  - General comments:
    - Separate waiting areas for the parties.
    - Provide separate waiting rooms for each of the courtrooms

Summary of Action Items Identified During Meeting			
No.	Description	Assigned To	Date Due
	T&L to contact Sheriff Department for space needs	EFS	2.18.22

*The above Meeting Minutes represent the author's understanding of the discussions that took place and the decisions and agreements that were made during the meeting. Requests for amendments to these Meeting Minutes should be made in writing to the author.*

**ATTACHMENT D**

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**STAUNTON J&DR COURTS CONCEPT PLAN**

**JANUARY 19, 2023**

**PREPARED FOR CITY OF STAUNTON**

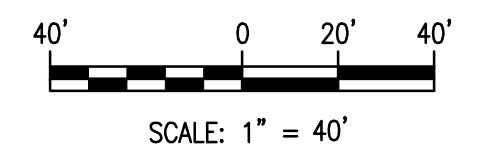
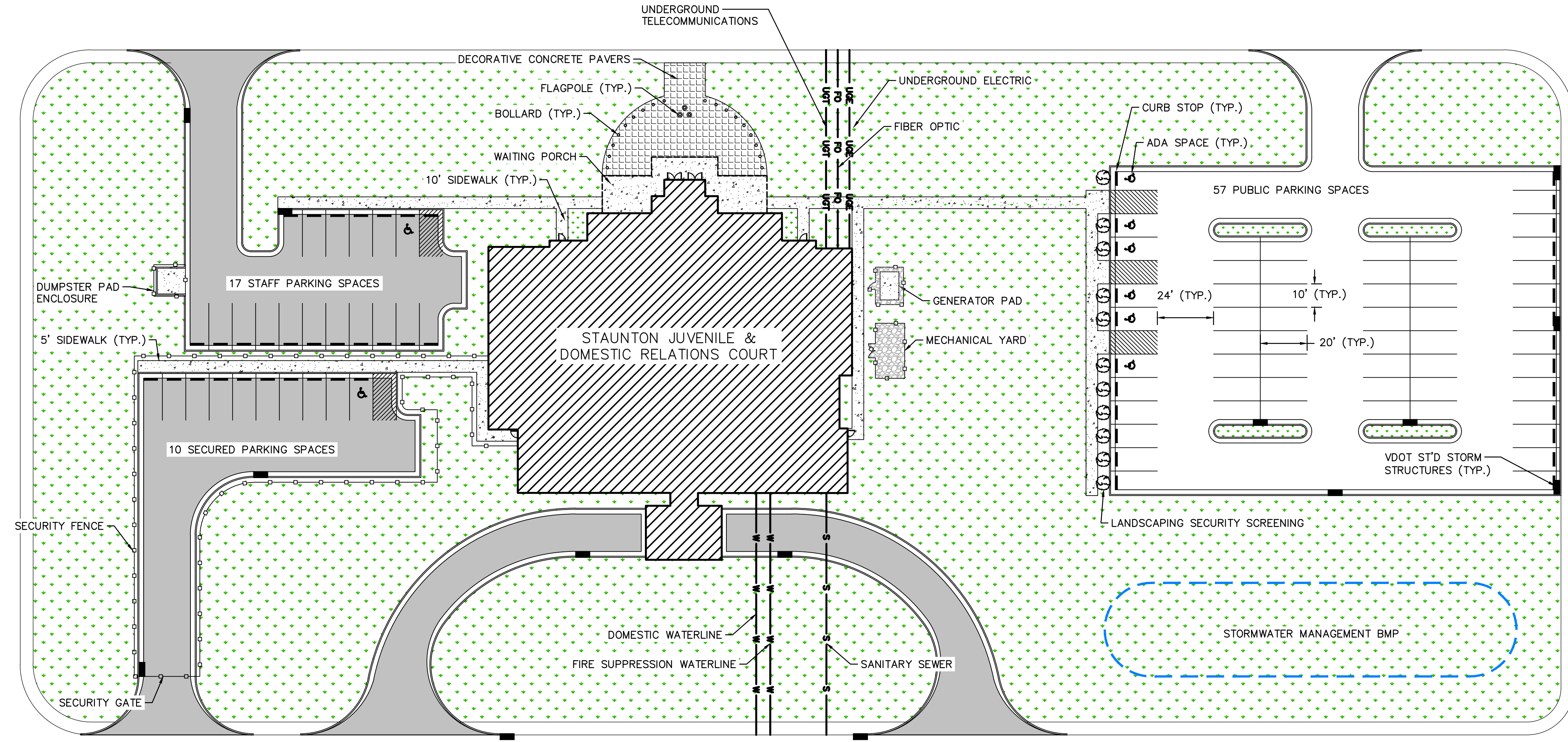
**BY THOMPSON & LITTON**

**C100 – SCHEMATIC SITE PLAN**

**A100 – SCHEMATIC FLOOR PLAN**

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Date/Time: 11/28/2022 2:49:13 PM File Name: R:\Projects\16559 Staunton J&DR Court Space Study\04 ARCHITECTURAL\Drawings\Construction Drawings\16559 Staunton J&DR Court Space Study V18.rvt



Preliminary

STAUNTON J&DR COURTS CONCEPT PLAN  
SCHEMATIC SITE PLAN

No.	Date	Purpose of Document Issue

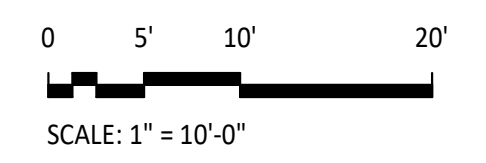
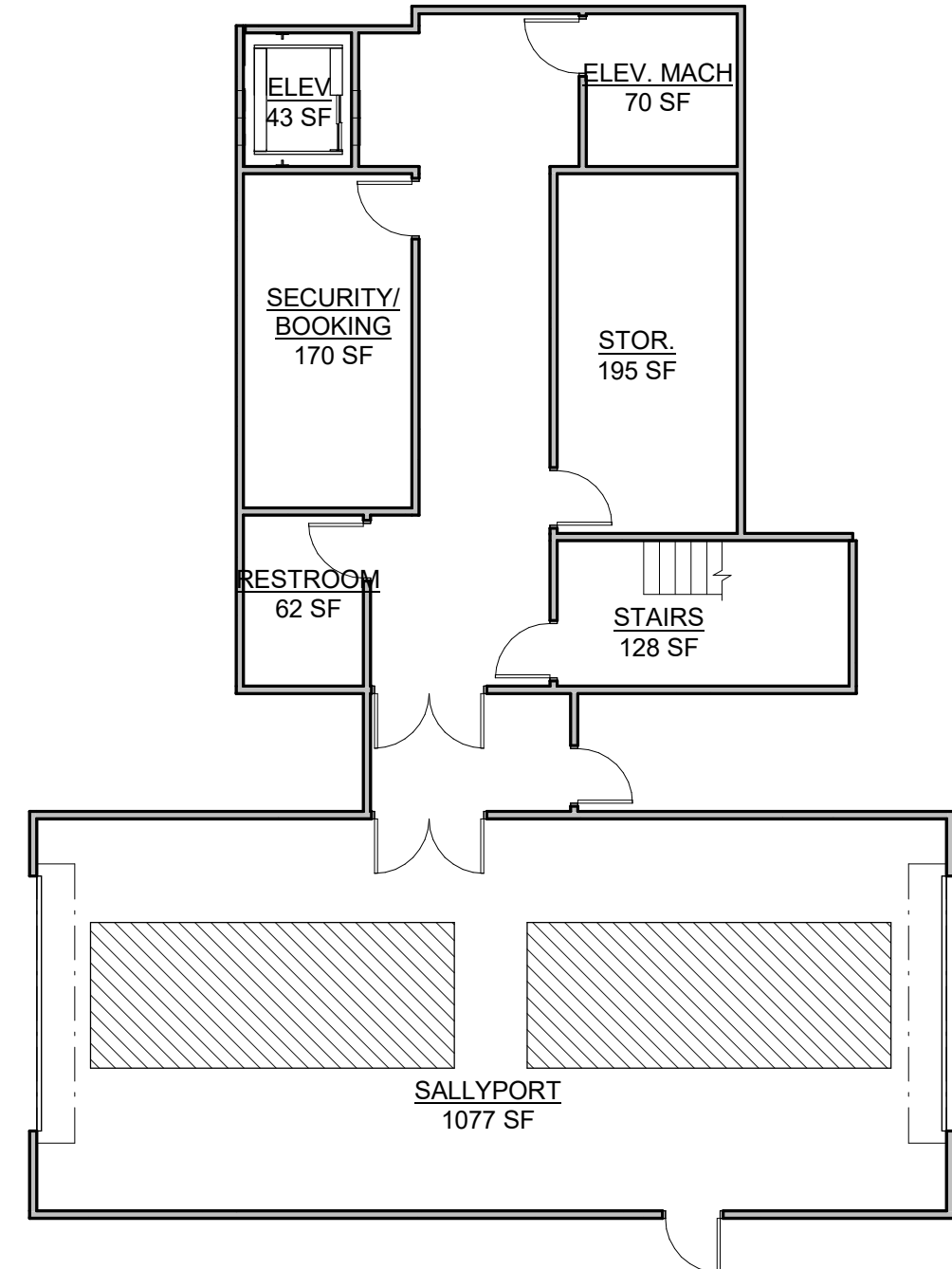
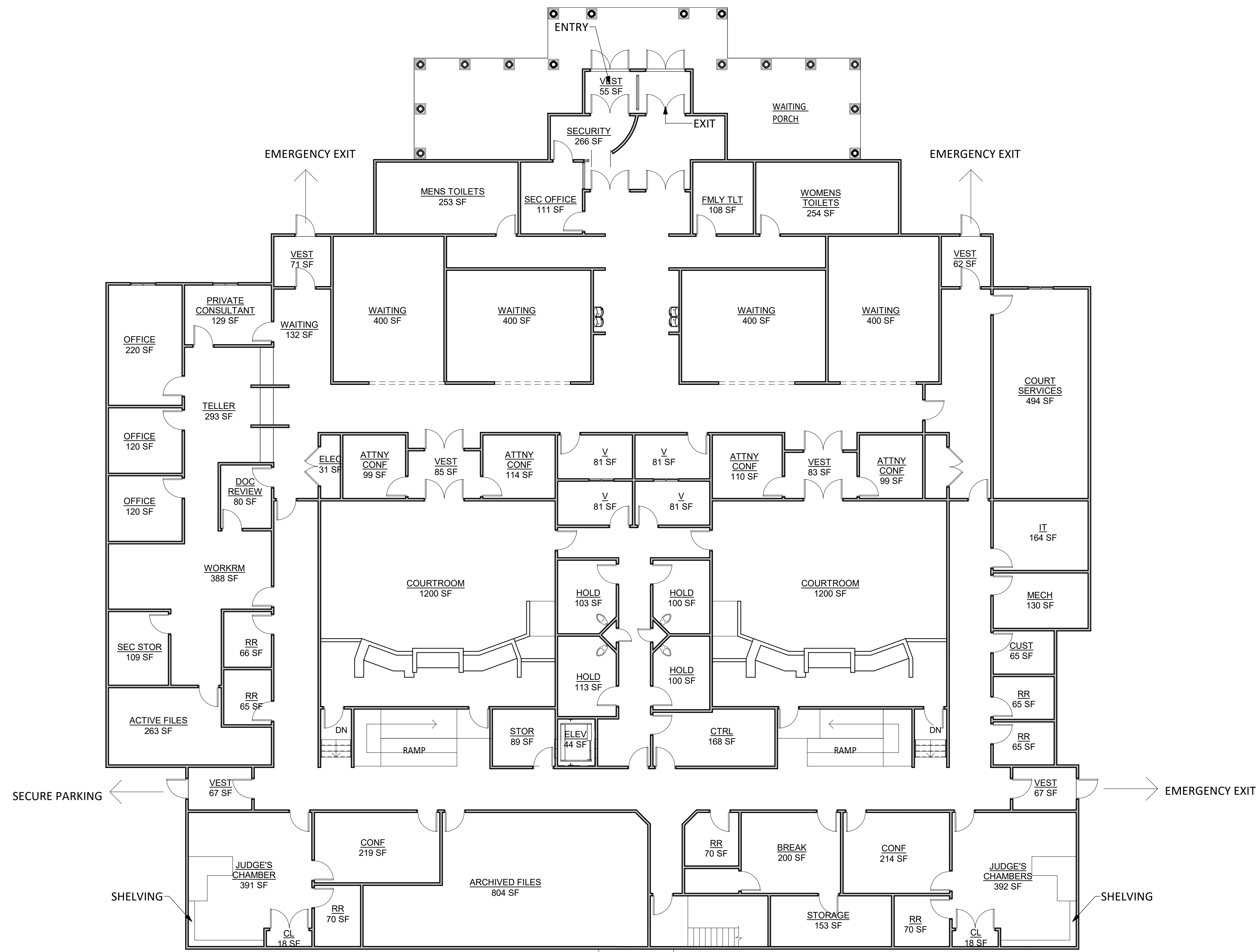
Designed	TCR
Drawn	TCR
Checked	TCR
Date	11-29-2022

Project No.  
16559



Sheet No.  
**C100**

Date/Time: 1/19/2023 11:23:00 AM File Name: R:\Projects\16559 Staunton J&DR Court Space Study\Drawings\Construction Drawings\16559 Staunton J&DR Court Space Study v18.rvt



Preliminary

STAUNTON J&DR COURTS CONCEPT PLAN  
SCHEMATIC  
SCHEMATIC FLOOR PLAN

No.	Date	Purpose of Document Issue

Designed	EF5
Drawn	TWM
Checked	Checker
Date	01/19/23

Project No.  
16559



Sheet No.  
A100

**ATTACHMENT E**

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**ASBESTOS AND LEAD PAINT SURVEY REPORT**

**DECEMBER 15, 2022**

**PREPARED FOR CITY OF STAUNTON**

**BY TRC**

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# ASBESTOS AND LEAD PAINT SURVEY REPORT

Asbestos Inspection Survey

Chestnut Hills Plaza Vacant Commercial Spaces

2024, 2026, 2028, 2030, and 2032

West Beverley Street

Staunton, Virginia

Prepared for:

The City of Staunton, Virginia

and United States Environmental Protection Agency

USEPA Brownfields Assessment Grant Number:

BF-963889-01

**Report Date:** December 15, 2022

Prepared By:



2200 South Main Street Blacksburg, Virginia 24060

TRC Project: 018244

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### **Appendices**

Appendix A – Sample Location Diagrams

Appendix B – Asbestos Workplan

Appendix C – Laboratory Results and Chain of Custody

Appendix D – Field Documentation/Prior Reports

Appendix E – Certifications

## **EXECUTIVE SUMMARY**

contracted TRC Environmental Corporation (TRC) to conduct a limited scope asbestos and lead paint survey.

### *Asbestos Containing Materials*

Results of the bulk sampling indicated the following materials contained asbestos:

1. 88,478 square feet (SF) of black mastic and associated 12"x12" flooring located through the footprint of both Site structures (2024, 2026, 2028, 2030 and 2032).
2. 25,165 SF roof system and silver roof flashing/paint and black roof mastic located on the main roof of the 2028 and 2030 space.
3. 20 SF of gray roof caulk located on the exterior of the 2024 space.
4. 20 SF of HVAC vibration dampener located in the mechanical area of the 2030 space.
5. 50 SF of gray and white window and exterior door caulk located on the exterior of the 2032 space.
6. 25 SF of gray exterior window caulk located on the exterior of the 2026 space.
7. 50 SF of brown expansion joint located in the 2026 space (if owner designates walls for demolition)
8. 250 SF of the red/gray linoleum on the interior wall in the 2030 space.
9. 500 SF of joint compound associated with sheetrock in the 2026 and 2030 space.
10. 25 SF of gray exterior window caulk located on the exterior of the 2032 space.
11. 600 SF black mastic on the wood paneling in the 2032 space.

### *Lead Containing Paint Sampling Results*

Results of the survey completed by TRC indicate that no lead was detected above the reportable limit using an XRF.

## INTRODUCTION

contracted TRC Environmental Corporation (TRC) to conduct a limited scope asbestos and lead survey at Chestnut Hills Plaza Vacant Commercial Spaces 2024, 2026, 2028, 2030, and 2032 West Beverley Street Staunton, Virginia. The survey activities were initiated on October 20 and October 21, 2022, by Andre Steuer and Antonio Conde, Asbestos Hazard Emergency Response Act (AHERA) accredited Asbestos Building Inspector(s) and licensed Virginia Asbestos Inspectors.

## BACKGROUND

Please note that the asbestos inspection will utilize data from the asbestos inspection conducted in September 2021 by Diversified Environmental Services of Staunton, VA.

### Survey Scope of Work

The specific area designated for inspection by the Client consists of five (5) commercial shopping plaza spaces ranging in area from 1,500 square feet to 44,000 square feet.

#### Asbestos Inspection

TRC reviewed the previous survey prior to completing the fieldwork. Based on our review it was determined that previously identified asbestos needed to be field verified on its existence and remaining ACM needed to be quantified. Previously identified asbestos materials within the subject buildings include the following:

- Floor Tile
- Mastic Adhesive associated Floor Tile
- Sheet Flooring
- Roofing Field
- Roof Mastic Adhesive
- Roof Flashing
- Window Caulk
- Building Expansion Joints
- Wood Paneling Mastic
- HVAC Vibration Dampers
- Miscellaneous other suspect building materials.

#### Lead Inspection

TRC identified building components in each structure and randomly selected representative components for lead testing. TRC utilized a non-radioactive, X-ray fluorescence (XRF) analyzer to confirm or dismiss painted surfaces for lead content.

Since the planned use of the space is commercial, paint coatings analyzed by the XRF instrument will be characterized as lead based (i.e., > 1.0 mg/cm<sup>2</sup>), lead containing (> 0.0 mg/cm<sup>2</sup> but < 1.0 mg/cm<sup>2</sup>) or non-lead containing.

## FINDINGS

### Asbestos Containing Materials

Results of the bulk sampling and previous sampling data indicated the following materials and quantities:

- 88,478 square feet (SF) of black mastic and associated flooring located through the footprint of both Site structures.
- 25,165 SF roof system and silver roof flashing/paint and black roof mastic located on the main roof of the 2028 and 2030 space.
- 20 SF of gray roof caulk located on the exterior of the 2024 space.
- 20 SF of HVAC vibration dampener located in the mechanical area of the 2030 space.
- 50 SF of gray and white window and exterior door caulk located on the exterior of the 2032 space.
- 25 SF of gray exterior window caulk located on the exterior of the 2026 space.
- 50 SF of brown expansion joint located in the 2026 space (if owner designates walls for demolition)
- 250 SF of the red/gray linoleum on the interior wall in the 2030 space.
- 500 SF of joint compound associated with sheetrock in the 2026 and 2030 space.
- 25 SF of gray exterior window caulk located on the exterior of the 2032 space.
- 600 SF black mastic on the wood paneling in the 2032 space.

Any materials uncovered during any renovation or demolition activities that are not addressed in this inspection report, or presumed asbestos containing materials (PACM), must be sampled by an accredited asbestos inspector prior to any disturbance, or they must be treated as ACM.

### Negative Materials (No Asbestos Detected)

Results of the bulk sampling indicated the following sampled materials contained no detectable levels of asbestos, based on the Point Count PLM method:

Materials	Material Location	Quantity
Drywall/Joint Compound	Spaces 2024 and 2028	3,000 SF

A sample location diagram is included as Appendix A.

XRF Results

Date	Test #	Component	Sample Space	Unit type	Mode	Pb	Pb +/-
10/6/2022 11:42	916	Wall	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:46	917	Wall	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:47	918	Wall	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:48	919	Wall	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:50	920	Window	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:51	921	Jamb	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:52	922	Wall	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:53	923	Sill	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:54	924	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:55	925	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:56	926	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:56	927	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:58	928	Window	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:59	929	Jamb	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:00	930	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:01	931	Sill	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:01	932	Wall	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:03	933	Jamb	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:05	934	Door	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:06	935	Door	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:07	936	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:08	937	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:09	938	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:11	939	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:11	940	Window	2028	mg/cm2	Lead Paint	ND	< 0.1

10/6/2022 12:11	941	Jamb	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:12	942	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:12	943	Sill	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:13	944	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:13	945	Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:13	946	Jamb	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:14	947	Door	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:14	948	Door	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:19	949	Door	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:25	950	Sill	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:26	951	Exterior Column	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:26	952	Exterior Overhang Ceiling	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:27	953	Restroom Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:28	954	Restroom Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:30	955	Exterior Column	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:31	956	Restroom Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	957	Restroom Wall	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	958	Exterior Overhang Ceiling	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	959	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:34	960	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:35	961	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:37	962	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:38	963	Window	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:38	964	Jamb	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:39	965	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:39	966	Sill	2032	mg/cm2	Lead Paint	ND	< 0.1

10/6/2022 12:41	967	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:41	968	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:41	969	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:42	970	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:42	971		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:42	972	Exterior Overhang Ceiling	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:45	973		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:47	974	Exterior Column	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:48	975		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:51	976		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:52	977	Exterior Overhang Ceiling	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:53	978	Exterior Column	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:54	979		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:54	980		2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:55	981	Exterior Overhang Ceiling	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:58	982	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:59	983	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:00	984	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:02	985	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:03	986	Window	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:03	987	Jamb	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:04	988	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:04	989	Sill	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:05	990	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:07	991	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:08	992	Wall	2032	mg/cm2	Lead Paint	ND	< 0.1

10/6/2022 13:08	993	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:10	994	Office Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:11	995	Exterior Overhang Ceiling	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:11	996	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:12	997	Restroom Wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:13	998	Exterior Column	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:19	999	Office wall	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 13:21	1000	Office Wall	2032	mg/cm2	Lead Paint	ND	< 0.1

Laboratory analysis indicated that no lead was detected in any of the paint chip samples submitted for analysis.

## RECOMMENDATIONS

### Asbestos Containing Materials

A detailed Asbestos Work Plan is included in the appendices.

### Lead Containing Paints

Testing by XRF analysis indicated that no lead was detected above the reportable limit in the paint surfaces tested. As such, the paints are not considered lead-containing materials.

## DISCLAIMER

The content presented in this report is based on data collected during the site inspection and survey, review of pertinent regulations, requirements, guidelines and commonly followed industry standards, and information provided by Client, their clients, agents, and representatives.

The work has been conducted in an objective and unbiased manner and in accordance with generally accepted professional practice for this type of work. TRC believes the data and analysis to be accurate and relevant, but cannot accept responsibility for the accuracy or completeness of available documentation or possible withholding of information of other parties.

This limited asbestos and lead survey report is designed to aid the property owner, architect, construction manager, general contractor, and asbestos abatement contractor in locating asbestos containing materials and lead containing paints.

Sincerely,  
TRC Environmental Corporation

*A Conde*

Antonio Conde  
Industrial Hygienist



Andre Steuer  
Senior Project Manager

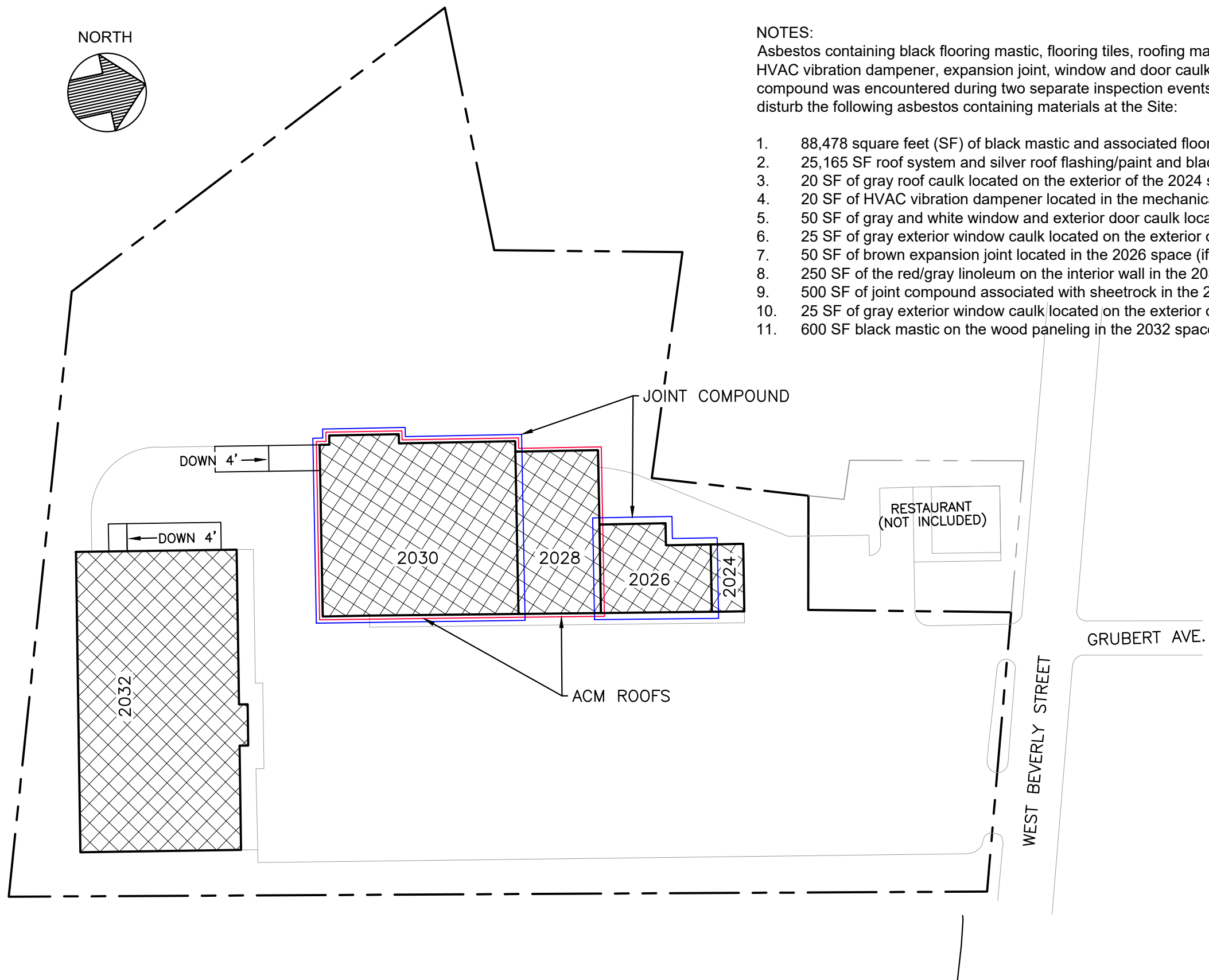
## Appendix A – Sample Location Diagrams



**NOTES:**

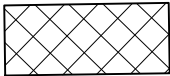
Asbestos containing black flooring mastic, flooring tiles, roofing materials including roof core/mastics, roof flashing and silver paint, HVAC vibration dampener, expansion joint, window and door caulk, wood paneling and cove base mastic and drywall system joint compound was encountered during two separate inspection events at the Site. It has been determined that renovation activities will disturb the following asbestos containing materials at the Site:

1. 88,478 square feet (SF) of black mastic and associated flooring located through the footprint of both Site structures.
2. 25,165 SF roof system and silver roof flashing/paint and black roof mastic located on the main roof of the 2028 and 2030 space.
3. 20 SF of gray roof caulk located on the exterior of the 2024 space.
4. 20 SF of HVAC vibration dampener located in the mechanical area of the 2030 space.
5. 50 SF of gray and white window and exterior door caulk located on the exterior of the 2032 space.
6. 25 SF of gray exterior window caulk located on the exterior of the 2026 space.
7. 50 SF of brown expansion joint located in the 2026 space (if owner designates walls for demolition)
8. 250 SF of the red/gray linoleum on the interior wall in the 2030 space.
9. 500 SF of joint compound associated with sheetrock in the 2026 and 2030 space.
10. 25 SF of gray exterior window caulk located on the exterior of the 2032 space.
11. 600 SF black mastic on the wood paneling in the 2032 space.



**LEGEND**

--- PROPERTY LINE

 BLACK MASTIC ASSOCIATED FLOORING

**GRAPHIC SCALE**

100 0 50 100 200

( IN FEET )

1 inch = 100 ft.

C:\Users\DDalton\OneDrive - TRC\Documents\CHESTNUT HILL SC.dwg Dec 01, 2022 1:28pm



2200 South Main Street  
Suite A  
Blacksburg, VA 24060  
540-552-0444  
Fax: 540-552-0291

DESIGNED AS  
DRAWN DLD  
CHECKED AS  
DATE 11/28/2022

SPCC  
CHESTNUT HILL SHOPPING CENTER  
CITY OF STAUNTON, VIRGINIA

SCALE: 1"=100'

PLAN NO. 018244

FIGURE

1

## Appendix B – Asbestos Workplan

## Asbestos Abatement Workplan

Project Name: Chestnut Hills Plaza  
2024,2026,2028,2030,2032 West Beverly Street,  
Staunton, VA 22202  
Date: 11/8/2022

### Project Information

Asbestos containing black flooring mastic, flooring tiles, roofing materials including roof core/mastics, roof flashing and silver paint, HVAC vibration dampener, expansion joint, window and door caulk, wood paneling and cove base mastic and drywall system joint compound was encountered during two separate inspection events at the Site. It has been determined that renovation activities will disturb the following asbestos containing materials at the Site:

1. 88,478 square feet (SF) of black mastic and associated flooring located through the footprint of both Site structures.
2. 25,165 SF roof system and silver roof flashing/paint and black roof mastic located on the main roof of the 2028 and 2030 space.
3. 20 SF of gray roof caulk located on the exterior of the 2024 space.
4. 20 SF of HVAC vibration dampener located in the mechanical area of the 2030 space.
5. 50 SF of gray and white window and exterior door caulk located on the exterior of the 2032 space.
6. 25 SF of gray exterior window caulk located on the exterior of the 2026 space.
7. 50 SF of brown expansion joint located in the 2026 space (if owner designates walls for demolition)
8. 250 SF of the red/gray linoleum on the interior wall in the 2030 space.
9. 500 SF of joint compound associated with sheetrock in the 2026 and 2030 space.
10. 25 SF of gray exterior window caulk located on the exterior of the 2032 space.
11. 600 SF black mastic on the wood paneling in the 2032 space.

Scope of work is to remove the materials listed above; any non-containing asbestos materials may be disposed of as non-asbestos materials if the materials are not adhered to the black mastic that is continuous throughout the Site.

**Abatement contractor to verify quantities and field conditions prior to compilation of their proposal. Contractor accepts existing field conditions as part of their proposal. Abatement contractor is responsible for removal of all materials described above in accordance with all federal, state, and local guidelines.** Contractor will acquire any necessary notifications (i.e., EPA and VA 10-day notification) and any necessary permits (e.g., building permits) for the work.

### Project Requirements

The following Containment and or Enclosure Type(s) shall be required:

- The above listed interior materials will be removed following Class I Containment requirements (Full Containment). The perimeter spaces of the work area consist of mostly windows and doors. The poly sheeting used to construct the containment along the perimeter of the work area shall contain enough opacity to obstruct sight lines from other areas of the building and from other nearby buildings to the work area. Abatement contractor to provide work plan prior to the issuance of the contract. Details must

## **Asbestos Abatement Workplan**

include containment construction, decontamination unit, waste load out, negative air calculations, etc..., as warranted.

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## Asbestos Abatement Work Plan

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### Preparations

- **Abatement contractor shall maintain negative pressure within all containments: Greater than -0.02 in/H<sub>2</sub>O and documented by using a chart recording manometer that operates continuously throughout the project**
  - Owner will provide access to electricity and water – contractor is responsible for the installation of a temporary electric panel.
  - Provide Health and Safety Plan
  - Modification of the abatement/demo notification will be the responsibility of abatement contractor; abatement contractor will be responsible for ensuring asbestos abatement notification(s) is properly filed with required agencies
- 

### Dates and Times

- Project Dates: Abatement to start date TBD
  - Hours of Work: TBD but delineated on any abatement notification.
- 

### Waste Disposal

The following additional requirements for waste disposal shall apply:

- All asbestos-containing material (ACM) will be disposed of at a landfill that is pre-approved by TRC to accept the ACM manifested waste whether friable or non-friable.
- Contractor shall place a lockable waste container at the Site. Any waste containers used to hold asbestos wastes must be lined with 6 mil poly sheeting, be fully enclosed, and be locked when not in use
- Contractor shall include the waste container type and site location within the pre-project abatement plan. dumpster drop off will need to be included with the abatement contractor's work plan.

### Facility Use

The abatement contractor has use of the following:

- Washrooms: Abatement contractor required to clean restrooms daily . In the event that the restrooms are not available, abatement contractor will be required to supply adequate facilities for their work force
  - Parking: One spot is available in the loading dock area. Additional paid parking is available in the parking garage.
  - Security: Abatement contractor will be responsible for the security of their equipment while scope of work is being performed.
  - Abatement contractor has no salvage rights to any of the materials removed from the property
-

## Asbestos Abatement Work Plan

### Work By Others

The abatement contractor is responsible for the following:

- Owner electrician for temporary power hook-up, lighting? No, hookup to be performed by electrician approved by building owner, equipment provided by contractor.
- Lock-out Tag-out? No, performed by building approved electrician
- Temporary light? Yes, provided by general contractor.
- Plumber for temporary water hook-up No
- Removal of glass/panel for negative air exhaust? N/A
- Re-installation of glass? N/A
- Installation of negative air that exhausts to the outdoors? Yes
- Non-hazardous demolition Yes

---

## Asbestos Abatement Work Plan

---

### Other

The abatement contractor shall provide one (1) copy of submittals in electronic form.

1. Pre-submittals include insurance certificate, W form, landfill information, and abatement contractor certification or registration. Insurance requirements attached to form.
2. Close-out documentation – 30 days after completion of project, abatement contractor to provide list of workers and supervisors with expiration dates and fit test completion dates, daily personal monitoring results, containment entry/exit logs/daily field logs, manifest/disposal receipts, permit modifications, etc.

### Ambient Air Sampling

The Monitoring Consultant to collect the following ambient air samples:

- Number of outside work area samples: at waste load out and entry to containment
- Type of analysis: Phase Contrast Microscopy (PCM)
- Acceptable level(s): <0.01 fibers per cubic centimeter (f/cc) of air

### Clearance Air Sampling

The Monitoring Consultant shall collect the following clearance air samples:

- Number of samples per work area: five (5)
  - Type of analysis: PCM
  - Acceptable clearance level(s): <0.01 f/cc
- 

### Attachments

The abatement contractor is responsible for complying with the following instructions or attachments issued by the Monitoring Consultant:

- Site Visit
  - Insurance requirements
- 

The undersigned hereby declares that he/she has fully investigated the existing conditions at the site and has examined the contract documents and addenda for the above referenced project. The abatement contractor acknowledges that it is in receipt of the building owner/operator representative's current General Conditions and Supplementary Conditions, which are incorporated by reference herein and are included as part of the project contract documents.

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Signature: \_\_\_\_\_

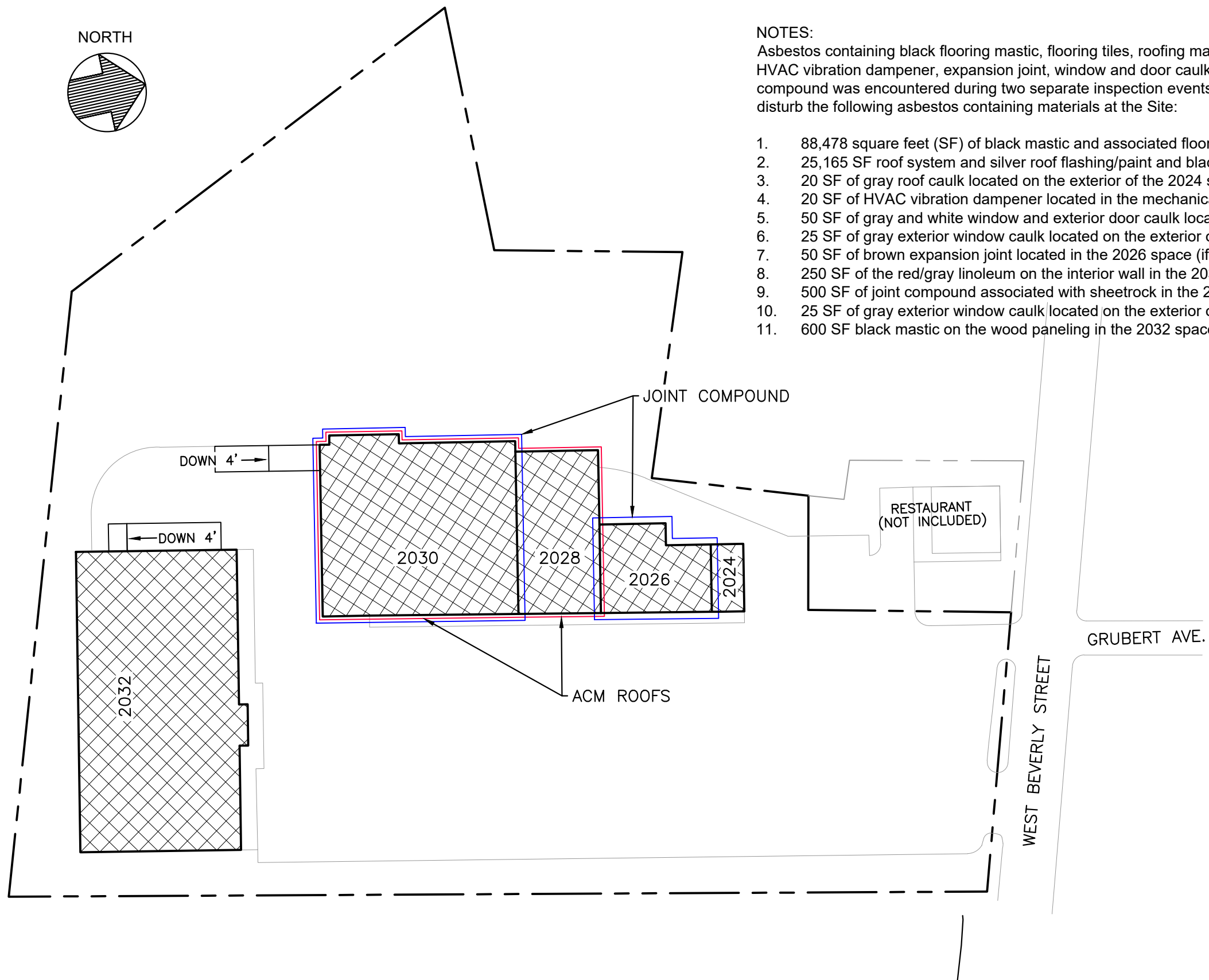
Date: \_\_\_\_\_



**NOTES:**

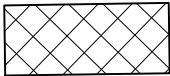
Asbestos containing black flooring mastic, flooring tiles, roofing materials including roof core/mastics, roof flashing and silver paint, HVAC vibration dampener, expansion joint, window and door caulk, wood paneling and cove base mastic and drywall system joint compound was encountered during two separate inspection events at the Site. It has been determined that renovation activities will disturb the following asbestos containing materials at the Site:

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11. 600 SF black mastic on the wood paneling in the 2032 space.



**LEGEND**

--- PROPERTY LINE

 BLACK MASTIC ASSOCIATED FLOORING

**GRAPHIC SCALE**

100 0 50 100 200

( IN FEET )

1 inch = 100 ft.

C:\Users\DDalton\OneDrive - TRC\Documents\CHESTNUT HILL SC.dwg Dec 01, 2022 1:28pm



2200 South Main Street  
Suite A  
Blacksburg, VA 24060  
540-552-0444  
Fax: 540-552-0291

DESIGNED AS  
DRAWN DLD  
CHECKED AS  
DATE 11/28/2022

SPCC  
CHESTNUT HILL SHOPPING CENTER  
CITY OF STAUNTON, VIRGINIA

SCALE: 1"=100'

PLAN NO. 018244

FIGURE

1

## Appendix C – Laboratory Results and Chain of Custody



**BULK ASBESTOS ANALYSIS REPORT**

CLIENT: City of Staunton- VA

Lab Log #: 0060468  
 Project #: 018244.0000.0000  
 Date Received: 10/17/2022  
 Date Analyzed: 10/19/2022

Site: Unknown

**POLARIZED LIGHT MICROSCOPY by EPA 600/R-93/116**

Sample No.	Sample Location	Homogeneous Material Description	Other Matrix Materials	Asbestos %	Asbestos Type
2024 2A ■	2024	White joint compound	---	<0.25%	Chrysotile
2024 2B ■	2024	White joint compound	---	<0.25%	Chrysotile
2024 2C ■	2024	White joint compound	---	0.25%	Chrysotile
2028 2E ■	2028	White joint compound	---	<0.25%	Chrysotile
2028 2F ■	2028	White joint compound	---	<0.25%	Chrysotile

■ Analyzed by 400 Point Count Method  
 ND- No asbestos was detected by 400 Point Count Method  
 <0.25-Trace concentrations of asbestos are concentrations that are less than 0.25% including samples that contain zero asbestos points out of 400 nonempty points, but did contain asbestos positively identified by PLM. This is the reporting limit.

ND - asbestos was not detected  
 Trace - asbestos was observed at level of 1% or less - This is the reporting limit  
 NA/PS - Not Analyzed / Positive Stop  
 SNA - Sample Not Analyzed- See Chain of Custody for details  
 Notes: Asbestos-Containing Material (ACM) is any material containing more than 1% asbestos

Note: Polarized-light microscopy is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. In those cases, EPA recommends, and certain states (e.g. NY) require, that negative results be confirmed by quantitative transmission electron microscopy.

The Laboratory at TRC follows the EPA's Interim Method for the Determination of Asbestos in Bulk Insulation 1982 (EPA 600/M4-82-020) Bulk Analysis Code 18/A01 and the EPA recommended Method for the Determination of Asbestos in Bulk Building Materials July 1993, R.L. Perkins and B.W. Harvey, (EPA/600/R-93/116) Bulk Analysis Code 18/A03, which utilize polarized light microscopy (PLM). Our analysts have completed an accredited course in asbestos identification. TRC's Laboratory is accredited under the National Voluntary Laboratory Accreditation Program (NVLAP), for Bulk Asbestos Fiber Analysis, NVLAP Code 18/A01, effective through June 30, 2023. TRC is accredited by the AIHA Laboratory Accreditation Programs (AIHA-LAP), LLC in the Industrial Hygiene Program (IHLAP) for PLM effective through October 1, 2024. Asbestos content is determined by visual estimate unless otherwise indicated. Quality Control is performed in-house on at least 10% of samples and QC data related to the samples is available upon written request from client.

This report shall not be reproduced, except in full, without the written approval of TRC. This report must not be used by the client to claim product endorsement by NVLAP or any agency of the U.S. Government. This report relates only to the items tested, as received by the laboratory.

Analyzed by:  Reviewed by:  Date Issued: 10/19/2022  
 Kathleen Williamson, Laboratory Manager Joel Corso, Approved Signatory

TRC LABORATORY ASBESTOS ANALYTICAL ACCREDITATIONS

NVLAP Lab Code 101424-0 AIHA-LAP,LLC #100122 CT #PH-0426 ME LA-0075, LB-0071 MA #AA000052 NY #10980 WV #000622  
 RI #PLM0007 TX #300354 VT #AL910359 LA#05011 VA #3333 000283 AZ #A20944 HI #L-09-004 NJ #CT004 CA #2907  
 CO# AL-15020 PHIL# 461 PA#68-03387






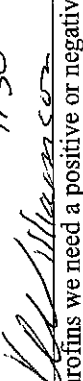
21 GRIFFIN ROAD NORTH  
 WINDSOR, CONNECTICUT 06095  
 TELEPHONE (860) 298-9692  
 FAX (860) 298-6380

## ASBESTOS BULK SAMPLING CHAIN OF CUSTODY

Edition: October 2009  
 Supersede Previous Edition

LAB ID #. 600468

PROJECT NUMBER		PROJECT NAME		PARAMETERS					TURNAROUND TIME																			
				PLM EPA 600/R93/116 (POSITIVE STOP)	PLM EPA 600/R93/116 (w/ gravimetric reduction) (POSITIVE STOP)	ANALYZE BY LAYER	POINT COUNT (IF >1% & <10%)	TEM NY NOB 198.4 (IF PLM SERIES NEG)	PLM:	TEM:	8hr	24hr	48hr	3day	5day													
018244		City of Stanton, VA																										
SIGNATURE		INSPECTOR		MATERIAL																								
		A. Steuer																										
FIELD SAMPLE NUMBER	DATE	TIME	TYPE											SAMPLE LOCATION	PLM EPA 600/R93/116 (POSITIVE STOP)	PLM EPA 600/R93/116 (w/ gravimetric reduction) (POSITIVE STOP)	ANALYZE BY LAYER	POINT COUNT (IF >1% & <10%)	TEM NY NOB 198.4 (IF PLM SERIES NEG)	PLM:	TEM:	8hr	24hr	48hr	3day	5day		
			COMP																								GRAB	
2024 2A	10/15/2022														2024				X									
2024 2B	10/15/2022														2024				X									
2024 2C	10/15/2022														2024				X									
20282E	10/15/2022				2028				X																			
20282F	10/15/2022				2028				X																			

Relinquished by: (Signature) 	Date: 10/17/2022 <sup>15</sup> / <sub>2</sub>	Received by: (Signature)  10/17/22	Relinquished by: (Signature)	Date:	Received by: (Signature)
	(Printed) Andre Steuer	Time: 11:30	(Printed)  11:30	(Printed)	Time:
Remarks: these were less than 1% previously by Eurofims we need a positive or negative.			Condition of Samples: Acceptable: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
			Comments:		

XRF Results for lead based paint - Cheasnut Hills Stantun, VA - No Lead

Date	Test #	Sample ID	Unit type	Mode	Pb	Pb +/-
10/6/2022 11:42	916		mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:46	917	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:47	918	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:48	919	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:50	920	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:51	921	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:52	922	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:53	923	2024	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:54	924	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:55	925	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:56	926	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:56	927	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:58	928	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 11:59	929	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:00	930	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:01	931	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:01	932	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:03	933	2026	mg/cm2	Lead Paint	ND	< 0.1
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10/6/2022 12:06	935	2026	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:07	936	2028	mg/cm2	Lead Paint	ND	< 0.1
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10/6/2022 12:11	939	2028	mg/cm2	Lead Paint	ND	< 0.1
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10/6/2022 12:11	941	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:12	942	2028	mg/cm2	Lead Paint	ND	< 0.1
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10/6/2022 12:13	946	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:14	947	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:14	948	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:19	949	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:25	950	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:26	951	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:26	952	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:27	953	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:28	954	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:30	955	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:31	956	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	957	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	958	2028	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:33	959	2032	mg/cm2	Lead Paint	ND	< 0.1
10/6/2022 12:34	960	2032	mg/cm2	Lead Paint	ND	< 0.1

10/6/2022 12:35	961	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:37	962	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:38	963	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:38	964	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:39	965	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:39	966	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:41	967	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:41	968	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:41	969	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:42	970	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:42	971	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:42	972	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:45	973	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:47	974	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:48	975	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:51	976	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:52	977	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:53	978	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:54	979	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:54	980	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:55	981	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:58	982	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 12:59	983	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:00	984	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:02	985	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:03	986	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:03	987	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:04	988	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:04	989	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:05	990	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:07	991	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:08	992	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:08	993	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:10	994	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:11	995	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:11	996	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:12	997	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:13	998	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:19	999	2032 mg/cm2	Lead Paint ND	< 0.1
10/6/2022 13:21	1000	2032 mg/cm2	Lead Paint ND	< 0.1

## Appendix D – Field Documentation/Previous Reports

**PATRICK DIFLORIO**  
President  
patrickd@ntelos.net  
Phone: (540) 294-8930



Federal ID Number: 47-2475380

P. O. Box 1365 (zip code 24402)  
1219-B Stoneburner Street  
Staunton, Virginia 24401

## **Asbestos Inspection Survey**

### **Chestnut Hills Plaza Vacant Commercial Spaces 2024, 2026, 2028, 2030, and 2032 West Beverley Street Staunton, Virginia**

Prepared by:

Diversified Environmental Services  
PO Box 1365 (24402)  
1219 B Stoneburner Street  
Staunton, Virginia 24401  
Patrick A. DiFlorio, President

DES Project #2173

September 2021

DIVERSIFIED ENVIRONMENTAL SERVICES

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Patrick A. DiFlorio, President

#### **ENVIRONMENTAL CONSULTING**

Inspection, Project Design, Construction Management • Project Monitoring for: Asbestos & Lead, Indoor Air Quality & Mold • Onsite PCM Analysis



Federal ID Number: 47-2475380

September 21, 2021

MMR Construction, LLC  
Rocco Cionni  
4030 Sunset Blvd.  
Steubenville, Ohio 43952

Reference: Asbestos Inspection Survey  
Parcels – Vacant Commercial Space  
2024, 2026, 2028, 2030, and 2032 W Beverley St  
Harrisonburg, Virginia

Gentlemen,

On September 6 through the 13th, 2021, Diversified Environmental Services (DES) collected and placed under chain of custody, eighty-nine (89) bulk samples of suspect asbestos containing material from the above referenced locations. The samples were sent to Eurofins / Carolina Environmental Laboratories in Cary, North Carolina for PLM analysis. The bulk samples may have been further separated into additional layers and then analyzed via Polarized Light Microscopy using the EPA Interim Method (EPA 600/M4-82-020 per 40 CFR 763, subpart F, App. A). Additionally, due to positive analysis on multiple samples of the same homogeneous materials, some samples were not analyzed under a “positive stop” protocol. A total of seventy-four (74) samples were analyzed.

## The Structures

The present use of the spaces is: Unoccupied / Commercial

The parcels are one-story brick CMU block buildings with brick veneer facades. Exterior walls are composed of brick and CMU block. The structures rest on concrete foundation and concrete slabs. Interior walls consist of wood framing with either painted gypsum wallboard or wood panel finishes. Floor finishes include carpet, sheet goods, and floor tile. The ceilings are suspended grid systems with various 2’x4’ ceiling tile designs. Store front windows are anodized aluminum in metal frames. Most roofs are a flat membrane design on a metal deck. There are some locations where built-up roofing exists.

## The Inspection

This inspection, at a minimum, was performed in strict accordance with EPA 40 CFR 61 Part M - National Emission Standards for Hazardous Air Pollutants (NESHAP), EPA 40 CFR Part 763, Subpart 5 - Asbestos Hazard Emergency Response Act (AHERA) and Occupational Safety and Health Administration 29 CFR 1910.1101, as they pertain.

### **ENVIRONMENTAL CONSULTING**

Suspect materials were categorized into homogenous groups based on similar like composition, color, texture, etc.

The materials were further distinguished by classifying them for friability.

*Friable Asbestos Containing Materials (ACM)* - Material containing more than 1% asbestos which has been applied to ceilings, walls, structural members, piping, duct work or any other part of a building, and which, when dry, may be crumbled, pulverized, or reduced to powder by hand pressure.

Suspect materials within the areas of demolition include:

Window Caulk	Expansion Joints	Baseboard / Mastic	HVAC Vibration Dampener	Floor tile / Mastic	Roof Mastic
Sheet Goods	Joint Compound	Skim Coats	Roof Field Core	Door Caulk	Ceiling tile

**Subsequent analysis of these samples determined that the following materials collected were determined to be Asbestos Containing Building Materials (ACBM), >1% asbestos.**

**Sample legend** – (#2173-\* -\*) DES Project #- Parcel Address#- Homogeneous Area- Sample #

**AHERA Rating-**

- #1 – Damaged or significantly damaged Thermal System Insulation (TSI).
- #2- Damaged friable surfacing ACM.
- #3- Significantly damaged friable surfacing ACM.
- #4- Damaged or significantly damaged friable miscellaneous ACM.
- #5- ACBM with potential for damage.
- #6- ACBM with potential for significant damage.
- #7- Any remaining friable ACBM or friable suspected ACBM.

## 2024

Approximately 1,500 Square Feet

Sample	Description	Category	Friability	Rating	Condition
#2173-2024-1-2	*Joint Compound (Trace <1%)	Miscellaneous	Friable	#4	Good
#2173-2024-1-3					
#2173-2024-3-1 #2173-2024-3-2 #2173-2024-3-3	Green 12x12 Floor Tile and Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2024-4-1B	**Black Mastic under Tan 12x12	Miscellaneous	Non-Friable	#6	Good
#2173-2024-10-1	Old Roof Mastic (Gray)	Miscellaneous	Non-Friable	#6	Good

### \*Trace Materials-

<1% Asbestos (Less than 1% - Trace)

Trace materials are not regulated by federal EPA NESHAP. However, OSHA regulates any amount of asbestos regardless of percentages. Therefore, the following OSHA interpretations were considered for this inspection process:

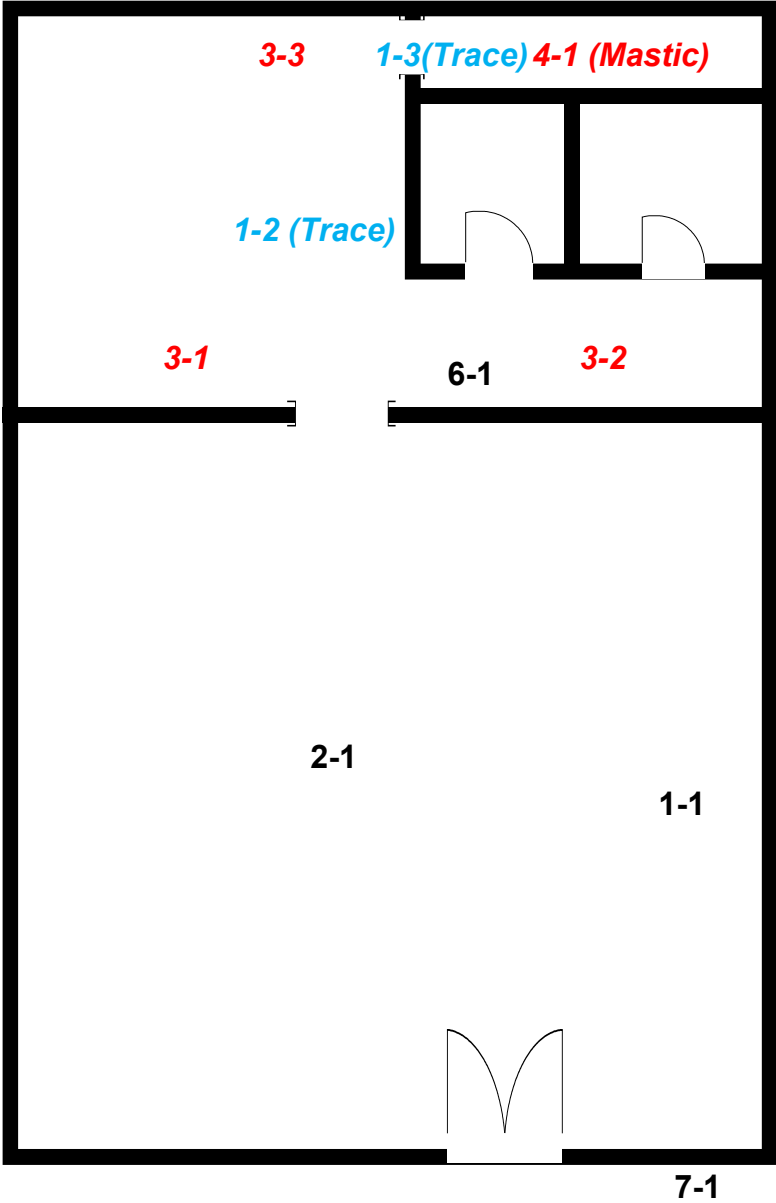
29 CFR 1926.1101(g)(1)(ii) requires:

"Wet methods, or wetting agents, to control employee exposures during asbestos handling, mixing, removal, cutting, application, and cleanup, except where employers demonstrate that the use of wet methods is infeasible due to for example, the creation of electrical hazards, equipment malfunction, and, in roofing, except as provide in paragraph (g)(8)(ii) of this section;"

29 CFR 1926.1101(g)(1)(iii) requires:

"Prompt clean-up and disposal of wastes and debris contaminated with asbestos in leak-tight containers except in roofing operations, where the procedures specified in paragraph (g)(8)(ii) of this section apply."

\*\***Mastic** that has tested "positive" for asbestos that remains adhered to the associated non-asbestos floor tile, renders that floor tile "positive".



**2024 West Beverley Street**

\*Not To Scale\*

**Samples Taken From Roof**

- 8-1      **10-1**
- 9-1
- 11-1 (Awning)

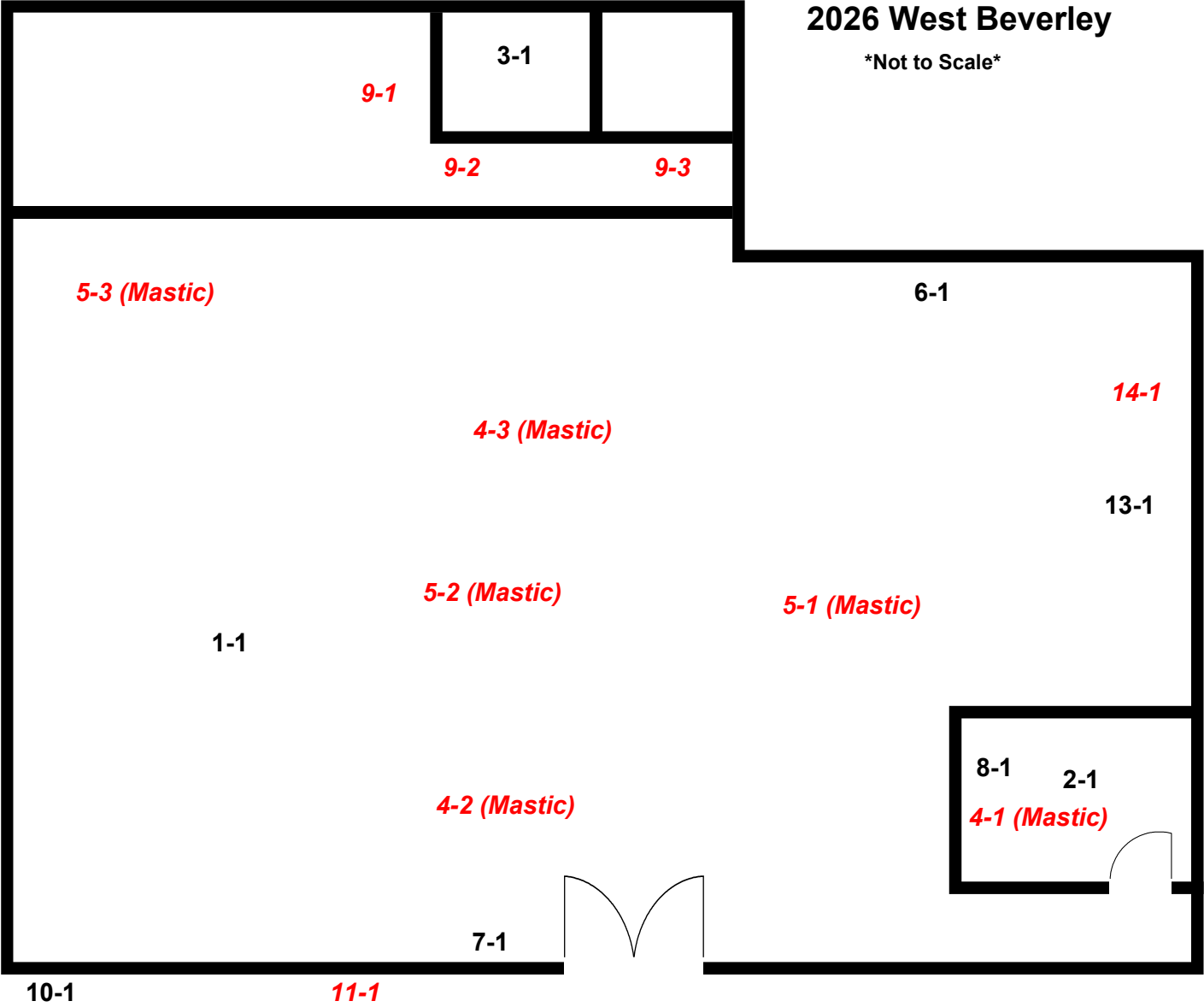
## 2026

Approximately 6,300 Square Feet

<b>Sample</b>	<b>Description</b>	<b>Category</b>	<b>Friability</b>	<b>Rating</b>	<b>Condition</b>
#2173-2026-4-1B #2173-2026-4-2B #2173-2026-4-3B	Black Mastic under Gray 12x12	Miscellaneous	Non-Friable	#6	Good
#2173-2026-5-1B #2173-2026-5-2B #2173-2026-5-3B	**Black Mastic under Beige 12x12	Miscellaneous	Non-Friable	#6	Good
#2173-2026-9-1 #2173-2026-9-2 #2173-2026-9-3	Joint Compound	Miscellaneous	Friable	#4	Good
#2173-2026-11-1	Window Caulk	Miscellaneous	Non-Friable	#6	Good
#2173-2026-14-1	Interior Expansion Joint	Miscellaneous	Non-Friable	#6	Good

2026 West Beverley

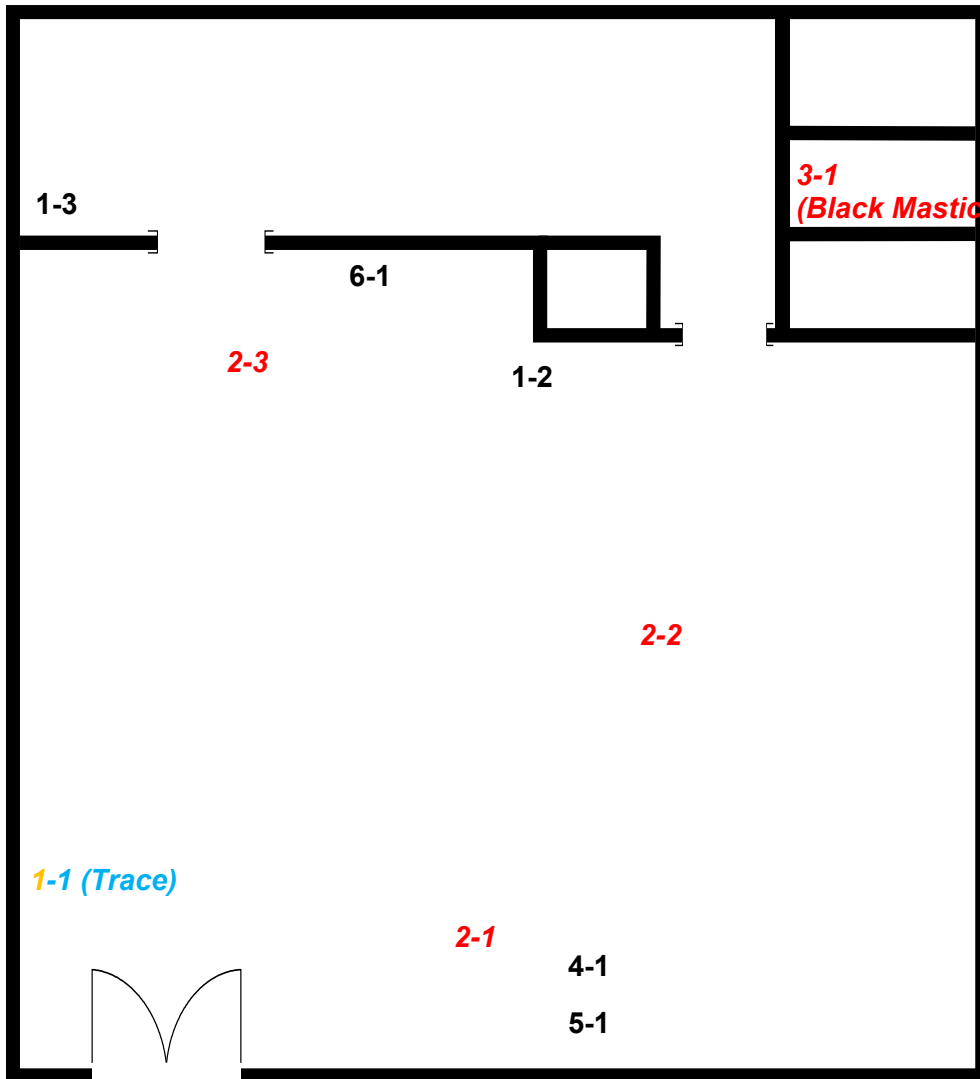
\*Not to Scale\*



**2028**

Approximately 11,250 Square Feet

#2173-2028-1-1	*Joint Compound (Trace <1%)	Miscellaneous	Friable	#4	Good
#2173-2028-2-1 #2173-2028-2-2 #2173-2028-2-3	Tan 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2028-3-1B	**Black Mastic under Gray Linoleum	Miscellaneous	Non-Friable	#6	Good
#2173-2028-9-1	Roof Field Core (Built Up Roof)	Miscellaneous	Non-Friable	#6	Good



**2028 West Beverley**

\*Not To Scale\*

**Samples Taken From Roof**

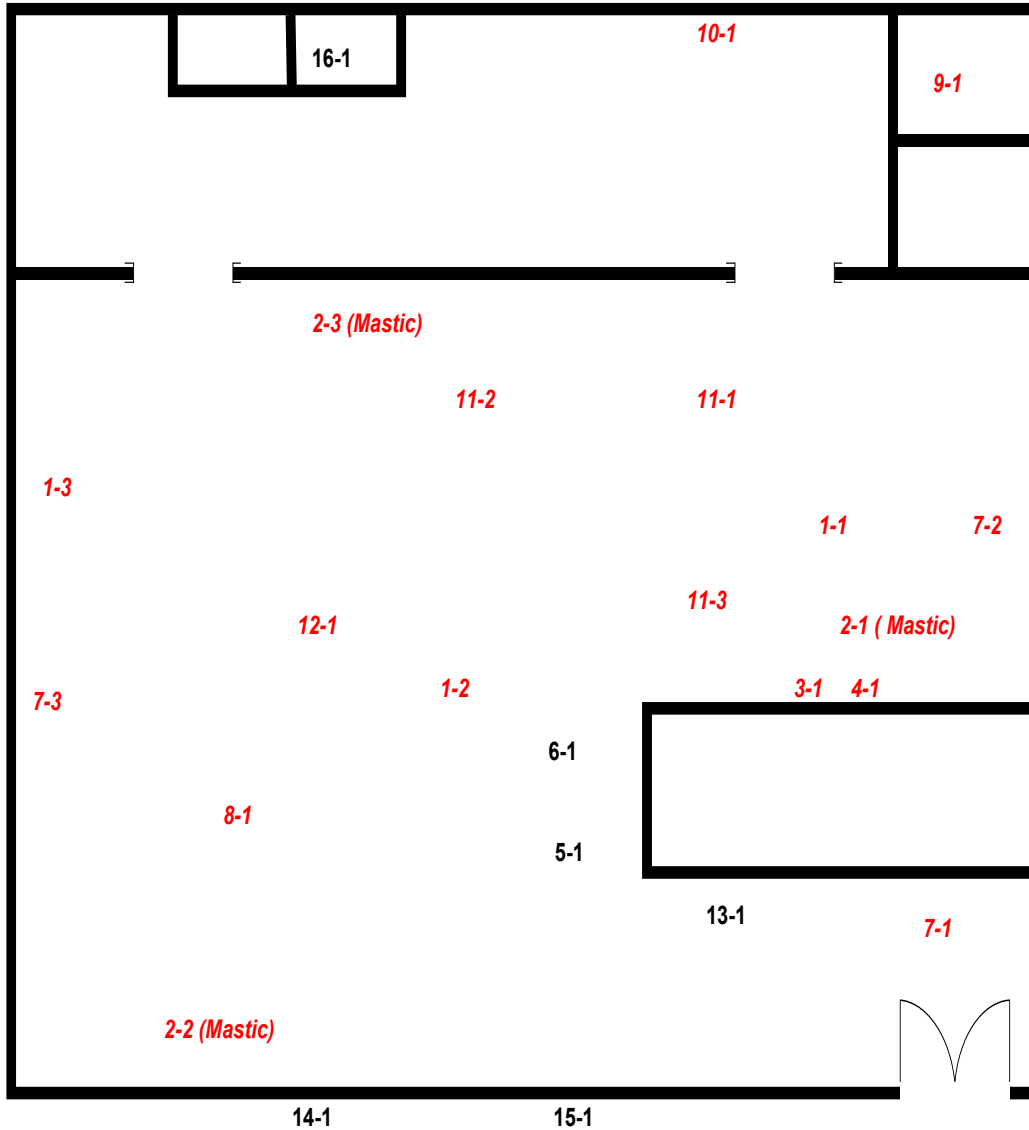
- 7-1      9-1
- 8-1

## 2030

Approximately 27,000 Square Feet

#2173-2030-1-1 #2173-2030-1-2 #2173-2030-1-3	Beige 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2030-2-1B #2173-2030-2-2B #2173-2030-2-3B	**Black Mastic under "Brick" 9x9	Miscellaneous	Non-Friable	#6	Good
#2173-2030-3-1	Red Wall Linoleum (Top Layer)	Miscellaneous	Non-Friable	#6	Good
#2173-2030-4-1	Red/Gray Wall Linoleum and yellow Mastic (Bottom Layer)	Miscellaneous	Non-Friable	#6	Good
#2173-2030-7-1 #2173-2030-7-2 #2173-2030-7-3	Joint Compound	Miscellaneous	Friable	#4	Good
#2173-2030-8-1	Green 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2030-9-1	White 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2030-10-1	HVAC Vibration Dampener	Miscellaneous	Friable	#4	Good
#2173-2030-11-1 #2173-2030-11-2 #2173-2030-11-3	"Brick" 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2030-12-1	Black 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2030-17-1	HVAC Mezzanine Roof Core (Felt Paper)	Miscellaneous	Non-Friable	#6	Good

#2173-2030-18-1	Roof Core (Felt Paper)	Miscellaneous	Non-Friable	#6	Good
#2173-2030-19-1	Roof Flashing and associated Silver Paint	Miscellaneous	Non-Friable	#6	Good
#2173-2030-20-1	Roof Mastic	Miscellaneous	Non-Friable	#6	Good



2030 West Beverley Street

\*Not To Scale\*

Samples Taken From Roof

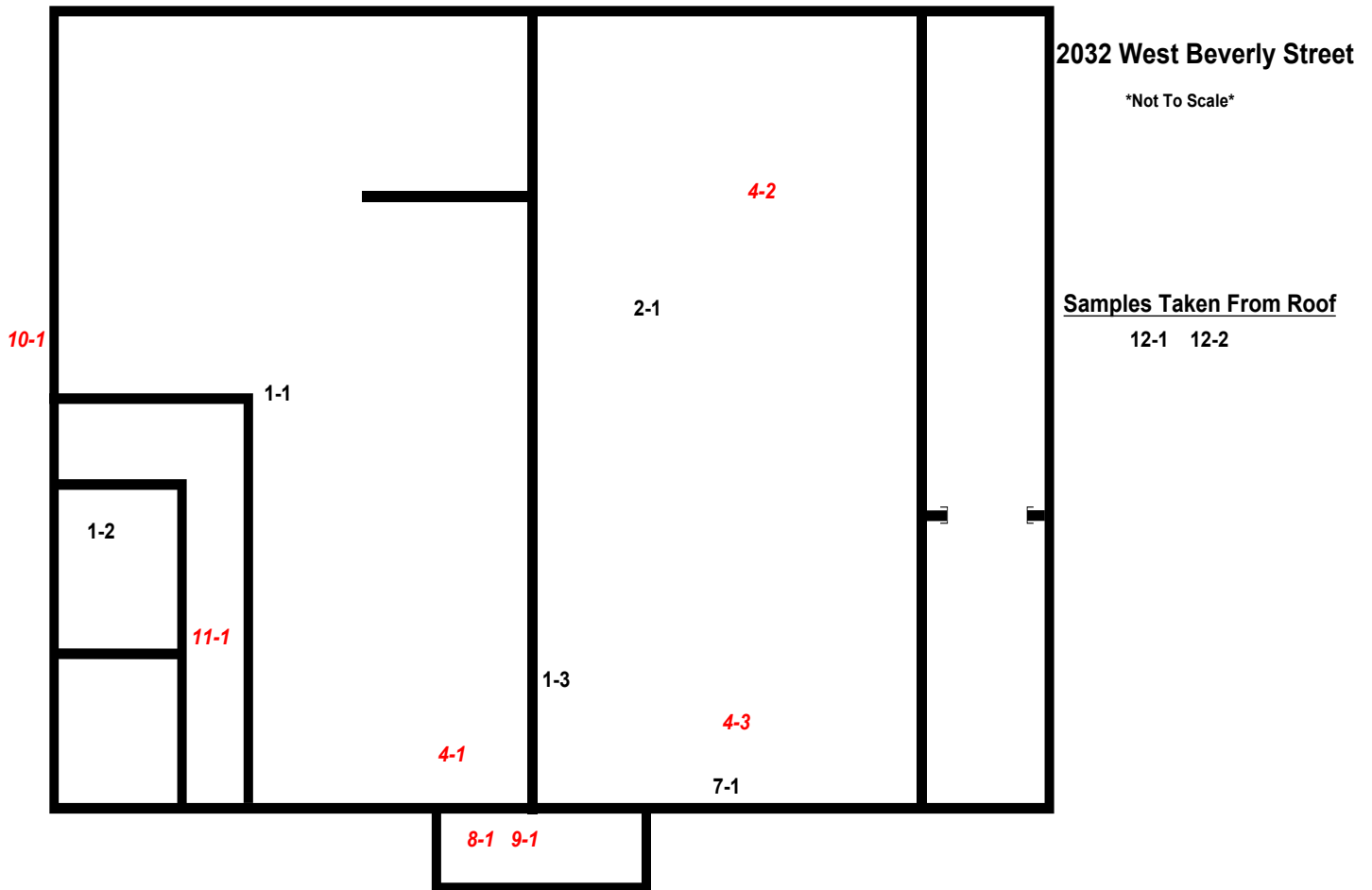
17-1 18-1

19-1 20-1

**2032**

Approximately 44,000 Square Feet

#2173-2032-4-1 #2173-2032-4-2 #2173-2032-4-3	Off-White 12x12 Floor Tile and Black Mastic	Miscellaneous	Non-Friable	#6	Good
#2173-2032-8-1	Window Caulk	Miscellaneous	Non-Friable	#6	Good
#2173-2032-9-1	Door Caulk	Miscellaneous	Non-Friable	#6	Good
#2173-2032-10-1	Exterior Expansion Joint	Miscellaneous	Non-Friable	#6	Good
#2173-2032-11-1	Wood Paneling Mastic	Miscellaneous	Non-Friable	#6	Good



**Any activities that involve the cutting, sanding, tearing, or otherwise disturbing the above listed materials should be preceded by an abatement of the affected areas by an EPA-accredited, State-licensed asbestos contractor.**

This inspection only identifies accessible asbestos containing materials. Materials located within chases, walls, above hard cast plaster ceilings, or otherwise considered inaccessible, either by physical barrier or for proprietary reasons, were not sampled and should be considered as “presumed asbestos containing materials (PACM), until future testing is made available.

Included in this report is the individual sample analysis of the materials collected.

If we can further assist you, please contact our office at your convenience.

Best regards,  
DIVERSIFIED ENVIRONMENTAL SERVICES

A handwritten signature in black ink, appearing to read "Patrick DiFlorio". The signature is fluid and cursive, with a large initial "P" and "D".

Patrick DiFlorio  
President

PROJECT: Chestnut Hills Plaza, 2173

LAB CODE: B216567

METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
#2173-2024-1-1		B108747	White	Joint Compound	None Detected
#2173-2024-1-2		B108748	White	Joint Compound	Chrysotile <1%
#2173-2024-1-3		B108749	White	Joint Compound	Chrysotile <1%
#2173-2024-2-1		B108750	White	Ceiling Tile	None Detected
#2173-2024-3-1		B108751A	Green	Floor Tile	Chrysotile 2%
		B108751B	Black	Mastic	Chrysotile 3%
#2173-2024-3-2		B108752A		Sample Not Analyzed per COC	
		B108752B		Sample Not Analyzed per COC	
#2173-2024-3-3		B108753A		Sample Not Analyzed per COC	
		B108753B		Sample Not Analyzed per COC	
#2173-2024-4-1		B108754A	Tan	Floor Tile	None Detected
		B108754B	Black	Mastic	Chrysotile 3%
#2173-2024-6-1		B108755A	Black	Baseboard	None Detected
		B108755B	Brown	Mastic	None Detected
#2173-2024-7-1		B108756	Gray	Window Caulk	None Detected
#2173-2024-8-1	Layer 1	B108757	Black	Roof Field Core	None Detected
	Layer 2	B108757	Brown	Paper	None Detected
	Layer 3	B108757	Brown	Insulation	None Detected
#2173-2024-9-1	Layer 1	B108758	Black	Roof Drip Edge	None Detected
	Layer 2	B108758	Black	Felt Paper	None Detected
	Layer 3	B108758	Brown	Insulation	None Detected
	Layer 4	B108758	White	Membrane	None Detected
#2173-2024-10-1		B108759	Black	Old Roof Mastic	Chrysotile 5%
#2173-2024-11-1		B108760	Black	Awning Mastic	None Detected
#2173-2026-1-1		B108761	White	Ceiling Tile	None Detected
#2173-2026-2-1		B108762	White	Ceiling Tile	None Detected
#2173-2026-3-1		B108763	White	Ceiling Tile	None Detected
#2173-2026-4-1		B108764A	Gray	Floor Tile	None Detected
		B108764B	Black	Mastic	Chrysotile 2%
#2173-2026-4-2		B108765A	Gray	Floor Tile	None Detected
		B108765B		Sample Not Analyzed per COC	

PROJECT: Chestnut Hills Plaza, 2173

LAB CODE: B216567

**METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020**

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
#2173-2026-4-3		B108766A	Gray	Floor Tile	None Detected
		B108766B		Sample Not Analyzed per COC	
#2173-2026-5-1		B108767A	Gray	Floor Tile	None Detected
		B108767B	Black	Mastic	Chrysotile 2%
#2173-2026-5-2		B108768A	Gray	Floor Tile	None Detected
		B108768B		Sample Not Analyzed per COC	
#2173-2026-5-3		B108769A	Gray	Floor Tile	None Detected
		B108769B		Sample Not Analyzed per COC	
#2173-2026-6-1		B108770A	Brown	Baseboard	None Detected
		B108770B	Yellow	Mastic	None Detected
#2173-2026-7-1		B108771A	Black	Baseboard	None Detected
		B108771B	Beige	Mastic	None Detected
#2173-2026-8-1		B108772	Beige	Linoleum	None Detected
#2173-2026-9-1		B108773	White	Joint Compound	Chrysotile 2%
#2173-2026-9-2		B108774		Sample Not Analyzed per COC	
#2173-2026-9-3		B108775		Sample Not Analyzed per COC	
#2173-2026-10-1		B108776	Gray	Exterior Expansion Joint	None Detected
#2173-2026-11-1		B108777	Gray	Window Caulk	Chrysotile 5%
#2173-2026-13-1		B108778	Black	Wall Mastic	None Detected
#2173-2026-14-1		B108779	Brown	Interior Expansion Joint	Chrysotile 5%
#2173-2028-1-1		B108780	White	Joint Compound	Chrysotile <1%
#2173-2028-1-2		B108781	White	Joint Compound	None Detected
#2173-2028-1-3		B108782	White	Joint Compound	None Detected
#2173-2028-2-1	Layer 1	B108783A	Green	Mastic	None Detected
	Layer 2	B108783A	Tan	Floor Tile	Chrysotile 3%
		B108783B	Black	Mastic	Chrysotile 5%
#2173-2028-2-2		B108784		Sample Not Analyzed per COC	
#2173-2028-2-3		B108785		Sample Not Analyzed per COC	
#2173-2028-3-1		B108786A	Brown, Gray	Linoleum	None Detected
	Layer 1	B108786B	Yellow	Mastic	None Detected
	Layer 2	B108786B	Black	Mastic	Chrysotile 2%

PROJECT: Chestnut Hills Plaza, 2173

LAB CODE: B216567

**METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020**

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
#2173-2028-4-1		B108787	White,Tan	Ceiling Tile	None Detected
#2173-2028-5-1		B108788	White,Tan	Ceiling Tile	None Detected
#2173-2028-6-1		B108789A	Black	Baseboard	None Detected
		B108789B	Yellow,White	Mastic	None Detected
#2173-2028-7-1		B108790	Black,Silver	Roof Mastic	None Detected
#2173-2028-8-1		B108791	Black	Pitch Pocket	None Detected
#2173-2028-9-1	Layer 1	B108792	Black	Roof Core	None Detected
	Layer 2	B108792	Black,Brown	Roof Core	<b>Chrysotile 20%</b>
	Layer 3	B108792	Brown	Insulation	None Detected
#2173-2030-1-1		B108793A	Beige	Floor Tile	<b>Chrysotile 3%</b>
		B108793B	Black	Mastic	<b>Chrysotile 2%</b>
#2173-2030-1-2		B108794		Sample Not Analyzed per COC	
#2173-2030-1-3		B108795		Sample Not Analyzed per COC	
#2173-2030-2-1		B108796A	Brick	Floor Tile	None Detected
		B108796B	Black	Mastic	<b>Chrysotile 3%</b>
#2173-2030-2-2		B108797A	Brick	Floor Tile	None Detected
		B108797B		Sample Not Analyzed per COC	
#2173-2030-2-3		B108798A	Brick	Floor Tile	None Detected
		B108798B		Sample Not Analyzed per COC	
#2173-2030-3-1		B108799	Red,Gray	Linoleum	<b>Chrysotile 20%</b>
#2173-2030-4-1		B108800A	Red,Gray	Linoleum	<b>Chrysotile 20%</b>
		B108800B	Yellow,Gray	Mastic	<b>Chrysotile 2%</b>
#2173-2030-5-1		B108801	White,Tan	Ceiling Tile	None Detected
#2173-2030-6-1		B108802	White,Tan	Ceiling Tile	None Detected
#2173-2030-7-1		B108803	Off-white	Joint Compound	<b>Chrysotile 2%</b>
#2173-2030-7-2		B108804		Sample Not Analyzed per COC	
#2173-2030-7-3		B108805		Sample Not Analyzed per COC	
#2173-2030-8-1		B108806A	Green	Floor Tile	<b>Chrysotile 3%</b>
		B108806B	Black	Mastic	<b>Chrysotile 5%</b>
#2173-2030-9-1		B108807A	White	Floor Tile	<b>Chrysotile 3%</b>
		B108807B	Black	Mastic	<b>Chrysotile 5%</b>

PROJECT: Chestnut Hills Plaza, 2173

LAB CODE: B216567

**METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020**

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
#2173-2030-10-1		B108808	Gray	Vibration Dampener	<b>Chrysotile 80%</b>
#2173-2030-11-1		B108809A	Brick,Red	Floor Tile	<b>Chrysotile 3%</b>
		B108809B	Black	Mastic	<b>Chrysotile 5%</b>
#2173-2030-11-2		B108810		Sample Not Analyzed per COC	
#2173-2030-11-3		B108811		Sample Not Analyzed per COC	
#2173-2030-12-1		B108812A	Black	Floor Tile	<b>Chrysotile 2%</b>
		B108812B	Black	Mastic	<b>Chrysotile 2%</b>
#2173-2030-13-1		B108813A	Black	Baseboard	None Detected
		B108813B	Yellow	Mastic	None Detected
#2173-2030-14-1		B108814	Gray	Expansion Joint	None Detected
#2173-2030-15-1		B108815	Black	Concrete Joint	None Detected
#2173-2030-16-1		B108816	White,Tan	Old Ceiling Tile	None Detected
#2173-2030-17-1	Layer 1	B108817	Black	Roof Field Core - Shingle	None Detected
	Layer 2	B108817	Black	Roof Field Core - Tar	None Detected
	Layer 3	B108817	Black	Roof Field Core - Felt Paper	<b>Chrysotile 15%</b>
	Layer 4	B108817	Brown	Roof Field Core - Insulation	None Detected
#2173-2030-18-1	Layer 1	B108818	Black	Roof Field Core - Tar	None Detected
	Layer 2	B108818	Black	Roof Field Core - Felt Paper	<b>Chrysotile 15%</b>
	Layer 3	B108818	Brown	Roof Field Core - Insulation	None Detected
#2173-2030-19-1	Layer 1	B108819	Silver	Silver Paint	<b>Chrysotile 2%</b>
	Layer 2	B108819	Black	Roof Flashing	<b>Chrysotile 2%</b>
	Layer 3	B108819	Black	Roof Flashing	<b>Chrysotile 10%</b>
#2173-2030-20-1		B108820	Black	Roof Mastic	<b>Chrysotile 10%</b>
#2173-2032-1-1		B108821	White	Joint Compound	None Detected
#2173-2032-1-2		B108822	White	Joint Compound	None Detected
#2173-2032-1-3		B108823	White	Joint Compound	None Detected
#2173-2032-2-1		B108824	White,Beige	Ceiling Tile	None Detected
#2173-2032-4-1		B108825A	Off-white	Floor Tile	<b>Chrysotile 5%</b>
		B108825B	Black	Mastic	<b>Chrysotile 5%</b>
#2173-2032-4-2		B108826		Sample Not Analyzed per COC	
#2173-2032-4-3		B108827		Sample Not Analyzed per COC	

PROJECT: Chestnut Hills Plaza, 2173

LAB CODE: B216567

METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
#2173-2032-7-1		B108828A	Brown	Baseboard	None Detected
		B108828B	Brown	Mastic	None Detected
#2173-2032-8-1		B108829	Gray	Window Caulk	<b>Chrysotile 10%</b>
#2173-2032-9-1		B108830	Gray	Door Caulk	<b>Chrysotile 10%</b>
#2173-2032-10-1		B108831	White	Expansion Joint	<b>Chrysotile 10%</b>
#2173-2032-11-1		B108832	Black	Wood Panel Mastic	<b>Chrysotile 3%</b>
#2173-2032-12-1	Layer 1	B108833	Black	(2032) Roof Field Core	None Detected
	Layer 2	B108833	Brown	(2032) Roof Field Core	None Detected
	Layer 3	B108833	Brown	(2032) Roof Field Core	None Detected
#2173-2032-12-2	Layer 1	B108834	Black	(2032) Roof Field Core	None Detected
	Layer 2	B108834	Brown	(2032) Roof Field Core	None Detected
	Layer 3	B108834	Brown	(2032) Roof Field Core	None Detected



CEI

B216567  
**SAMPLING FORM**

COMPANY CONTACT INFORMATION	
Company: DES	Job Contact: Josh Evans
Project Name: Chestnut Hills Plaza	
Project ID #: #2173	Tel: (540) 290-3373

SAMPLE ID#	DESCRIPTION / LOCATION	VOLUME/ AREA	TEST	
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-1-1	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-1-2	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-1-3	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-2-1	Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-3-1	Green 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-3-2	Green 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-3-3	Green 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-4-1	Tan 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-6-1	Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-7-1	Window Caulk		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-8-1	(2024,2026) Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-9-1	(2024,2026) Roof Drip Edge		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-10-1	(2024,2026) Old Roof Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2024-11-1	Awning Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-1-1	White Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-2-1	Beige Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-3-1	Rough Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-4-1	Gray 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-4-2	Gray 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-4-3	Gray 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-5-1	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-5-2	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-5-3	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-6-1	Brown Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-7-1	Black Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-8-1	Linoleum		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-9-1	Joint Compound			
#2173-2026-9-2	Joint Compound			
#2173-2026-9-3	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-10-1	Exterior Expansion Joint		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-11-1	Window Caulk		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-13-1	Wall Black Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2026-14-1	Interior Expansion Joint		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>

Version: CCOC-01-10-21-LD

BCL1656

#2173-2028-1-1	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-1-2	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-1-3	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-2-1	12x12 Floor Tile / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-2-2	12x12 Floor Tile / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-2-3	12x12 Floor Tile / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-3-1	Linoleum (Womens Bathroom)		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-4-1	Smooth Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-5-1	Rough Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-6-1	Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-7-1	Roof Mastic (penetrations)		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-8-1	Pitch Pocket		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2028-9-1	(2028) Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-1-1	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-1-2	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-1-3	Beige 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-2-1	"Brick" 9x9 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-2-2	"Brick" 9x9 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-2-3	"Brick" 9x9 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-3-1	Wall Linoleum / Top Layer		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-4-1	Wall Linoleum / Bottom Layer		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-5-1	Smooth Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-6-1	Rough Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-7-1	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-7-2	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-7-3	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-8-1	Green 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-9-1	White 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-10-1	HVAC Vibration Dampener		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-11-1	"Brick" 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-11-2	"Brick" 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-11-3	"Brick" 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-12-1	Black 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-13-1	Black Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-14-1	Expansion Joint		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-15-1	Concrete Joint		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-16-1	"old" Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-17-1	(2030) Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-18-1	(2030) HVAC Mezzanine Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-19-1	(2030) Roof Flashing		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2030-20-1	(2030) Roof Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-1-1	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-1-2	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-1-3	Joint Compound		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-2-1	Ceiling Tile		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-4-1	Brown 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-4-2	Brown 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-4-3	Brown 12x12 / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-7-1	Baseboard / Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-8-1	Window Caulk		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-9-1	Door Caulk		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-10-1	Expansion Joint		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-11-1	Wood Panel Mastic		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-12-1	(2032) Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
#2173-2032-12-2	(2032) Roof Field Core		PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>
			PLM <input type="checkbox"/>	TEM <input type="checkbox"/>

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation

9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON  
11-30-2021

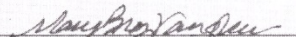
NUMBER  
3303003682

BOARD FOR ASBESTOS, LEAD, AND HOME INSPECTORS  
ASBESTOS INSPECTOR LICENSE



JOSHUA RAY EVANS  
1196 SPAULDING STREET  
STAUNTON, VA 24401-0000



  
Mary Broz-Vaughan, Director

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

DPOR-LIC (02/2017)

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation

9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON  
04-30-2022

NUMBER  
3303000697

BOARD FOR ASBESTOS, LEAD, AND HOME INSPECTORS  
ASBESTOS INSPECTOR LICENSE



PATRICK ANGELO DIFLORIO  
603 ALLEGHANY AVENUE  
STAUNTON, VA 24401-0000

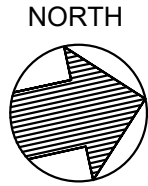


*Mary Broz-Vaughan*  
Mary Broz-Vaughan, Director

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

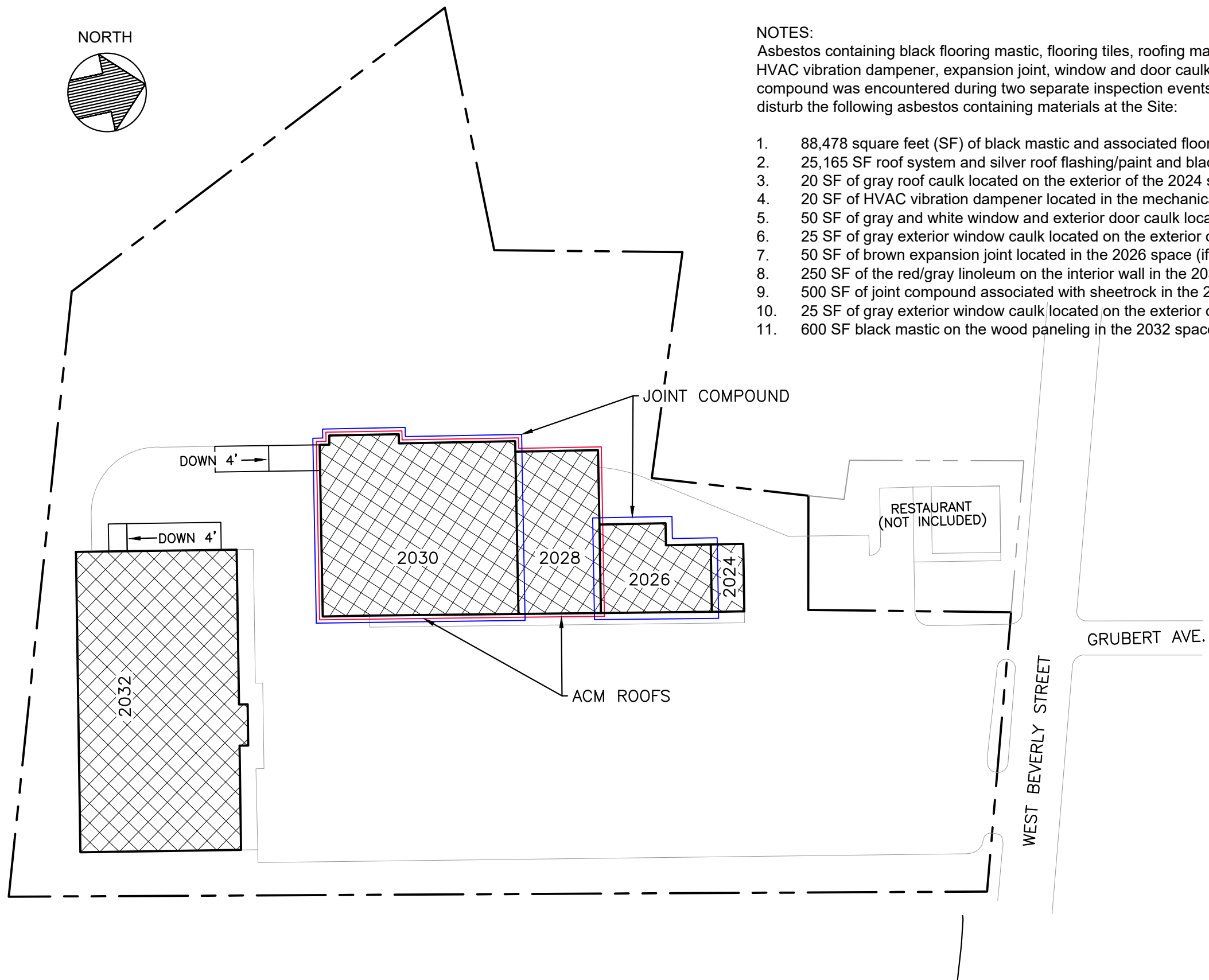
DPOR-LIC (02/2017)



**NOTES:**

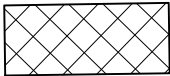
Asbestos containing black flooring mastic, flooring tiles, roofing materials including roof core/mastics, roof flashing and silver paint, HVAC vibration dampener, expansion joint, window and door caulk, wood paneling and cove base mastic and drywall system joint compound was encountered during two separate inspection events at the Site. It has been determined that renovation activities will disturb the following asbestos containing materials at the Site:

1. 88,478 square feet (SF) of black mastic and associated flooring located through the footprint of both Site structures.
2. 25,165 SF roof system and silver roof flashing/paint and black roof mastic located on the main roof of the 2028 and 2030 space.
3. 20 SF of gray roof caulk located on the exterior of the 2024 space.
4. 20 SF of HVAC vibration dampener located in the mechanical area of the 2030 space.
5. 50 SF of gray and white window and exterior door caulk located on the exterior of the 2032 space.
6. 25 SF of gray exterior window caulk located on the exterior of the 2026 space.
7. 50 SF of brown expansion joint located in the 2026 space (if owner designates walls for demolition)
8. 250 SF of the red/gray linoleum on the interior wall in the 2030 space.
9. 500 SF of joint compound associated with sheetrock in the 2026 and 2030 space.
10. 25 SF of gray exterior window caulk located on the exterior of the 2032 space.
11. 600 SF black mastic on the wood paneling in the 2032 space.



**LEGEND**

--- PROPERTY LINE

 BLACK MASTIC ASSOCIATED FLOORING

**GRAPHIC SCALE**

100 0 50 100 200

( IN FEET )

1 inch = 100 ft.

C:\Users\DDalton\OneDrive - TRC\Documents\CHESTNUT HILL SC.dwg Dec 01, 2022 1:28pm



2200 South Main Street  
Suite A  
Blacksburg, VA 24060  
540-552-0444  
Fax: 540-552-0291

DESIGNED AS  
DRAWN DLD  
CHECKED AS  
DATE 11/28/2022

SPCC  
CHESTNUT HILL SHOPPING CENTER  
CITY OF STAUNTON, VIRGINIA

SCALE: 1"=100'

PLAN NO. 018244

FIGURE

1

## Appendix E – Certifications

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation  
9960 Mayland Drive, Suite 400, Richmond, VA 23233  
Telephone: (804) 367-8500

EXPIRES ON  
01-31-2023

NUMBER  
3303003090



BOARD FOR ASBESTOS, LEAD, AND HOME INSPECTORS  
ASBESTOS INSPECTOR LICENSE

ANDRE PETER STEUER  
1308 BILLMYER MILL RD  
SHEPHERDSTOWN, WV 25443-0000



*Demetrios J. Mills*  
Demetrios J. Mills, Director

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)



COMMONWEALTH of VIRGINIA  
Department of Professional and Occupational Regulation  
BOARD FOR ASBESTOS, LEAD, AND HOME INSPECTORS  
ASBESTOS INSPECTOR LICENSE  
NUMBER: 3303003090 EXPIRES: 01-31-2023



ANDRE PETER STEUER  
1308 BILLMYER MILL RD  
SHEPHERDSTOWN, WV 25443-0000

Status can be verified at <http://www.dpor.virginia.gov>

DPOR-LIC (02/2017)

(DETACH HERE)

DPOR-PC (02/2017)

WEST VIRGINIA

Asbestos Program

Andre' P. Steuer

IS LICENSED AS AN  
ASBESTOS INSPECTOR



License #: A1010282  
Issued: 8/1/2022  
Expires: 8/31/2023

Director  
WV OEHS

*Meredith A. Coal*